

Item 4

Strategy, Planning & Partnerships Committee on 22/06/2016

Status: Confidential - 90(3) (m) amendment to Development Plan prior to release for public consultation

North Adelaide Large Institutions and Colleges Development Plan Amendment – Response to submissions [2015/00354]

Strategic Outcome:	Outcome 1 - City of Great Places
Program & Value Proposition:	City Planning and Development - The City Planning and Development Program will create a City of outstanding places that meets the aspirations of the community
Program Contact No:	Rick Hutchins, A/AD Planning & Development 8203 7241
Approved:	Clare Mockler, Director Community

RECOMMENDATION

That:

1. **The Strategy, Planning & Partnerships Committee recommends to Council in confidence that Council:**
 - 1.1 **Receives the additional submissions on the North Adelaide Large Institutions and Colleges Development Plan Amendment (DPA), as contained in Attachment C of Item 4 on the Agenda of the Special meeting of the Strategy, Planning and Partnerships Committee held on 22 June 2016.**
 - 1.2 **Endorses the following attachments to be finalised in accordance with Council's adopted policy position in respect to options for progressing the DPA as outlined in Attachment J of Item 4 on the Agenda of the Special meeting of the Strategy, Planning & Partnerships Committee held on 22 June 2016:**
 - 1.2.1 **Attachment D: Summary of Submissions (Public/Agency & Verbal Submissions) and draft response to each submission**

1.2.2 Attachment E: Additional Investigations paper and responses

1.2.3 Attachment F: Development Plan Amendment Policy and Concept Plans.

- 1.3 Endorses that stakeholders who participated in the statutory consultation will be informed of Council's response to their submissions in accordance with the Communications and Consultation Plan as contained in Attachment G to Item 4 on the Agenda for the Special meeting of the Strategy, Planning and Partnerships Committee held on 22 June 2016.**
- 1.4 Delegates to the CEO authority to finalise the DPA and supporting information in accordance with Council resolution to Item 4 on the Agenda for the Special meeting of the Strategy, Planning and Partnerships Committee held on 22 June 2016 and to make amendments in order to meet technical standards of the Department of Planning, Transport and Infrastructure and legal requirements.**
- 1.5 Notes the Administration will identify opportunities to work with land owners of the institutions and college sites to progressively manage travel behaviour in order to improve transport and access to those sites.**

2. In accordance with Section 91(7) & (9) of the *Local Government Act 1999* and on the grounds that Item 4 [North Adelaide Large Institutions and Colleges Development Plan Amendment] listed on the Agenda for the meeting of Strategy, Planning & Partnerships Committee held on 22/6/2016 was received, discussed and considered in confidence pursuant to Section 90(3) (m) of the *Local Government Act 1999*, this meeting of the of Strategy, Planning & Partnerships Committee, do order that:

- 2.1 the resolution, the report, the discussion and any other associated information submitted to this meeting and the Minutes of this meeting in relation to the matter remain confidential and not available for public inspection until either upon the contemplated new DPA coming into operation on an interim basis pursuant to s28(1) of the Development Act 1993 or the Minister for Planning refusing to agree to a Statement of Intent on terms satisfactory to the Council or otherwise upon the expiration of 3 years in the event that neither of the earlier two described circumstances have occurred within that time;**
- 2.2 the confidentiality of the matter be reviewed in December 2017;**
- 2.3 the Chief Executive Officer be delegated the authority to review and revoke all or part of the order herein and directed to present a report containing the Item for which the confidentiality order has been revoked.**

GROUNDINGS AND BASIS FOR CONSIDERATION IN CONFIDENCE

Grounds

Section 90(3) (m) of the *Local Government Act 1999* [amendment to Development Plan prior to release for public consultation]

- (m) information relating to a proposed amendment to a Development Plan under the *Development Act 1993* before a Plan Amendment Report relating to the amendment is released for public consultation under that Act;

Basis

The Item contains information in the Staff Report relating to a proposed amendment to a Development Plan under the Development Act 1993 where that Development Plan Amendment & proposal relating to the amendment has not been released for public consultation under that Act.

The disclosure of information in this report would be contrary to the public interest to receive, consider or discuss this matter in a meeting open to the public prior to any formal public consultation processes under the Development Act 1993.

BACKGROUND

1. In May 2013, the Minister for Planning wrote to Council saying *'It has ...been brought to my attention that the current non-complying provisions in the North Adelaide Historic (Conservation) Zone are significant constraints on large institutional and college sites that could benefit from regeneration. I encourage Council to consider removing these non-complying policies and rely on a merit based planning framework that enables a development outcome that responds to its local context. I would support Council progressing a separate DPA on this matter.'*
2. In June 2013, Council resolved to *'....advise the Minister that it is open to considering a separate and future Development Plan Amendment for North Adelaide's residential student colleges and institutions.'* In June 2014, Council resolved to commence this DPA through adopting a Statement of Intent (SOI). The Minister approved the SOI in July 2014.
3. The Minister wrote back to Council in July 2015 approving the DPA for public consultation, noting however that he had concerns about 'prescriptive elements' in the DPA relating to non-complying triggers, concept plans and associated principles of development control, and policies limiting expansion of Helping Hand, St Dominic's Priory and Calvary Hospital. The Minister also requested that the DPA be submitted for approval to him by November 2015.
4. Council responded to the Minister by letter dated 5 August 2015 advising that the DPA, subject to the number and complexity of issues raised during public consultation would likely be presented to him in the early part of 2016.

5. Given the substantial comments received through consultation, the Lord Mayor wrote to the Minister seeking an extension of time until 30 June 2016 (**Attachment A**). On 31 May 2016, the Minister (**Attachment B**) responded with an approval for the extension of time until 30 June 2016 and reiterated the need for Council to consider the DPA as a high priority and ensure outstanding matters identified in DPTI's submission are adequately addressed.
6. A Council Statement of Intent (SOI) was approved by the Minister to prepare a DPA relating to 11 large sites in North Adelaide that were identified due to their contribution to the health and education sectors. The Council identified in the SOI that the investigations into the DPA would be undertaken in the context of the following four guiding principles:
 - 6.1 fostering economic synergies
 - 6.2 maintaining residential amenity
 - 6.3 North Adelaide's acknowledged heritage value
 - 6.4 integration with transport planning, based on Smart Move: Movement and Transport Strategy 2012-2022.
7. Council's policy approach in the DPA was prepared through a number of workshops and Committee meetings. Council's approach can be summarised as facilitating increased intensification and planning certainty of the 11 sites with the need for greater sensitivity to neighbouring residential character and heritage values. Council's policy base was to:
 - 7.1 amend or add site specific policy based on the adopted Council positions for each of the 11 sites. This includes additional written policy and concept plan for each site.
 - 7.2 retain building height as a non-complying trigger.
 - 7.3 remove the quantitative plot ratio control (an existing non-complying trigger) for the 11 sites, with bulk and density to be managed through a range of qualitative provisions and a concept plan.
 - 7.4 inclusion of a new Policy Area 13 to cover the Lutheran Church of Australia landholdings and surrounding land.
 - 7.5 not alter the boundaries of the North Adelaide Historic (Conservation) Zone.
 - 7.6 existing policy within this Zone to continue to apply, unless specifically exempted.
 - 7.7 existing Council wide provisions that cover matters such as design of residential buildings, environmental considerations, heritage and conservation, built-form, townscape, transport and access would continue to apply.
8. On 22 September 2015 Council resolved:

That in the best interests of an informed public consultation, the Council Administration amend the online North Adelaide Large Institutions and Colleges Development Plan Amendment Consultation documents to include all site masterplans publicly available and requests those Colleges and Institutions holding other masterplans to make them available.
9. To action this decision, Administration wrote to the 11 land owners requesting that any masterplans be made available to assist in the DPA processes. No masterplans were received following this request.

10. The DPA was placed on public consultation from 27 August to 9 November 2015. On 18 November 2015, a Public Hearing was held at a Special Meeting of the Adelaide City Council.
11. Statutory consultation on the DPA closed following the Public Hearing. A total of 89 public submissions and 4 agency submissions were received. 21 Verbal Submissions were heard at the Public Hearing. 3 additional submissions have been received and have been considered with other submissions and these are contained in **Attachment C**. A suitable recommendation has been drafted to receive these submissions.
12. At this stage of the DPA process, Council is required to consider and respond to the submissions received during the process of statutory consultation. Council has the following options available in proceeding with the DPA:
 - 12.1 Forward the DPA with no amendments to the Minister for Planning for final approval;
 - 12.2 Forward the DPA with policy amendments to the Minister for Planning for final approval;
 - 12.3 Decline to proceed with the DPA; or
 - 12.4 Defer the DPA to enable further consideration.
13. On the basis of the investigations and consultation to date, it is recommended that Council forward the DPA with policy amendments to the Minister. This report is prepared to assist Council to consider this option, and the options available in terms of the content of a DPA to submit to the Minister for approval.
14. The Minister for Planning makes the final decision on the DPA, subject to a subsequent review by the Environment, Resources and Development Committee of Parliament.
15. In accordance with the requirements of the Department of Transport, Planning and Infrastructure, Council administration will prepare the Summary of Consultation and Policy Amendment (SCPA) Report to the Minister for Planning.
16. The SCPA report is provided to assist Council to consider the submissions following consultation on the DPA and to inform a decision on the draft DPA to be submitted to the Minister for Planning. The SCPA will be finalised based on the final decision of Council.

SUPPORTING INFORMATION

17. Attached to this report are the following documents in support of the DPA recommended to be submitted to the Minister for approval:
 - 17.1 **Attachment C:** Additional Public Submissions received after the close of public consultation.
 - 17.2 **Attachment D:** Summary of Submissions (Public/Agency & Verbal Submissions) and draft response to each submission.
 - 17.3 **Attachment E:** Additional Matters and Investigations paper which summarises common issues and the proposed overall responses and is structured in relation to the high level principles guiding the DPA and each specific site.

- 17.4 **Attachment F:** Development Plan Amendment Policy and Concept Plans; the formal amendment document that the Minister would consider.
- 17.5 **Attachment G:** Updated Communication and Consultation Plan, setting out how people and stakeholders who participated in the statutory consultation will be informed of Council's response to their submission.

Executive Summary

18. The following provides an executive summary of the policy outcomes in the DPA to be submitted to the Minister for Planning following consideration of submission made during the consultation process. A summary sheet for height and land uses is provided (**Attachments H and I**)

Executive Summary	
18.1	The DPA allows the continuation of the health and education sectors within North Adelaide while ensuring new development is complementary to the dynamic and culturally rich heritage.
18.2	The DPA continues to allow the colleges and institutions sites to operate in the same way within their existing land holdings. This will enable the colleges and institutions to continue meet the contemporary demands of the sectors and provide services to the community, including the provision of aged care, student accommodation, education and hospital services.
18.3	The Archer West Policy Area has been introduced so the heritage listed buildings are retained while allowing the redevelopment of incompatible buildings. Over time, built form will be allowed up to six storeys on large consolidated sites and sited away from street frontages and existing low scale residential properties. This will provide for an increase in population with a limited amount of non-residential uses.
18.4	The DPA retains all existing heritage listed buildings and provides additional policy to ensure new development is located and designed to protect the fabric and setting of these historically important buildings.
18.5	<p>The DPA seeks to protect the high level of amenity enjoyed by existing residents by providing a range of policies to ensure any new development on these sites:</p> <ul style="list-style-type: none"> • Provides new buildings designed to fit in with existing historic streetscapes • Maintains low scale buildings on streets and near residential boundaries i.e. taller built-form is setback from streets and boundaries • Site buildings to limit overshadowing • Site buildings off residential boundaries • Design high activity areas to minimise noise and disturbance • Maintain visual privacy through balcony and window design • Provide a high level of landscaped open space
18.6	<p>On the 12 April 2016, Council endorsed a proposal to carry out Local Area Traffic and Parking (On-street) Management Plans for North Adelaide over the next 12 months.</p> <p>In terms of the DPA, any proposed development will need to manage its future transport impact through the provision of off-street parking, bicycle parking and pedestrian treatments. New car parking will be sought to be located at basement level so that the landscaped settings of the colleges and institutions are maintained.</p>

	In addition, Council will continue to work with the State Government for better public transport services in North Adelaide and work with the land owners to influence travel behaviour to reduce the reliance on private vehicle travel and reduce the need to use streets for car parking.
18.7	The DPA retains the requirement for public notification of development proposals to adjoining sites (other than minor applications).
18.8	Strong planning controls (i.e. “non-complying”) will remain in place for land uses that are not considered appropriate in a residential context and for buildings that exceed the stated maximum number of building levels (i.e. will require a special application process, public notification and adjoining neighbour appeal rights).

Public Consultation feedback

19. Submissions have been received from a broad cross-section of stakeholders with comments wide ranging from the desire for no change, to allowing for some change, to providing for a large degree of change and expansion of the institutional sites and colleges. Broad themes are summarised below:

	No change	Conditional support	Support of DPA	DPA does not go far enough
Types of Comments	Institutions and colleges are located in unsuitable areas – should relocate long term	No overshadowing or overlooking. Protect views of city and hills.	Economic viability for colleges and institutional uses	DPA too prescriptive – remove all non-complying triggers and allow institutions to expand onto contiguous sites
	Keep status quo	Require underground car parking as part of redevelopments	Long established uses	Create a new zone for the 11 sites
	Problems of car-parking, traffic and noise from colleges and institutions	Proposed building heights too high		
	Residential area with high character and heritage values	Protect heritage values of zone		

20. Administration's approach to the consideration of the submissions and draft response has been undertaken in terms of Council's policy approach (set out in paragraph 7 of this report), the four guiding principles (set out in paragraph 6 of this report).
21. A series of policy recommendations are made below that are considered to give greater certainty in regards to future development opportunities and provide due protection of broader heritage and character values of the Zone and adjacent residential properties

Policy Recommendations: Archer West Policy Area 13

22. The DPA proposed a new policy area, **Archer West Policy Area 13** which sought low to medium rise and mixed use development. The new Policy Area was proposed to due to the existing mixed-use land-use pattern and the notably uncharacteristic and underutilised built form pattern. In addition, the Lutheran Church of Australia's land holdings represents a significant opportunity to reconsider the future of the area.
23. Feedback received from consultation varied, however particular comments were received to seeking to minimise adverse impacts to residential neighbours and ensuring new development reinforced the historic character of the area.
24. A series of the policy recommendations have been made and these are summarised as follows:

DPA proposals for consultation	Post Consultation – Recommended Changes
Area affected	
Amend policy area boundaries of Policy Area 3, 4 and 5 to create "Archer West Policy Area 13".	No change.
Land Use	
<p>All existing and envisaged land uses across the policy areas 3, 4 and 5 (to ensure they are all consistently merit within the policy area) to be made merit in PA13 including:</p> <ul style="list-style-type: none"> Residential (including student accommodation, nursing homes, serviced apartments, multiple dwelling, motel and retirement village). Non- residential (consulting rooms, offices, banks, places of worship, library and education establishment) 	<p>Amend to increase residential focus by changing some non-residential land uses to non-complying i.e. add hotel and hospital to non-complying.</p> <p>Amend to add Museum to merit land uses (as this was a merit land use in the existing Tynte Street Policy Area 4)</p>
Design	
Concept plan	Refinements to provide more clarity of policy intent to reduce impacts to residential amenity and historic character.

Retain low scale streets 1-3 storeys.	Refinements to ensure the low scale streets are reinforced, particularly for Walter Street.
Allow taller built form up to 6 storeys at the centre of sites.	Amend to reduce the areas for taller built form ensuring they are sited away from streetscapes and low-scale residential.
Encourage the progressive development of incompatible built-form and under-utilised sites and with new well-designed low to medium scaled development	No change
Ensure building design is compatible with the historic built form and residential dwellings in the locality.	<p>Refinements to strengthen policies to ensure that new built form is not out of place and contributes positively to the historic neighborhood.</p> <p>Strengthen the need for development applications to recognise the local context and minimise the impact on adjoining residential properties (e.g. neighbour impacts, local historic streetscape character, protect important views and vistas).</p> <p>Strengthen policy around the design of new taller buildings including emphasis on providing spacing between individual buildings to avoid long unbroken building forms, size of building footprints to take cues from the historic building pattern and appearance to relate to the historic character of the zone</p>
<i>Procedural - Non-complying triggers</i>	
Retain non-complying triggers for land uses that are not considered appropriate in a residential context and for buildings that exceed the stated maximum number of building levels.	No change to approach. Refinement to land uses (see above "Land Uses").
Remove plot ratio as a non-complying trigger	No change on basis that detailed site specific provisions are included to enable assessment of impacts of density of development.
<i>Public Notification</i>	
Retain Category 2 public notification for all developments other than minor	No change.

Policy Recommendations: Remainder of sites

25. A series of policy recommendations have been made in response to submissions relating to health and education sectors: Health Sector (Calvary Hospital, Helping Hand Aged Care, Memorial Hospital and Women's and Children's Hospital) and Education Sector (St Dominic's Priory, Lincoln College, St Mark's College, St Ann's College, Kathleen Lumley College and Aquinas College). These are summarised below:

DPA Proposals for Consultation	Post Consultation - Recommendation Changes
<i>Area affected</i>	
Policy changes only apply to the existing sites within their current site boundaries.	No change. Policies have not been amended outside of the existing sites.
<i>Land Use</i>	
Land uses to reflect existing land uses and associated land uses.	Refinements to ensure the existing land uses can continue. This DPA does not propose to change existing policy guiding a change of use of these sites to other uses.
Student Accommodation with offices	Amend. Return to existing policy where new offices are non-complying on student accommodation sites.
Hospitals with small scale shops	Amend for Calvary - return to existing policy where small shops to Strangways Terrace are not supported.
<i>Design</i>	
Site specific policies and concept plans	Amend to simplify concept plan details Amend to strengthen the need for development applications to recognise the local context and minimise the impact on adjoining residential properties (e.g. neighbour impacts, local historic streetscape character, protect important views and vistas). Amend height policies on a site by site basis <ul style="list-style-type: none"> • Kathleen Lumley (Finniss Street 1 - 3 storeys) • Calvary (Hill Street - 4 storeys (5
Remove plot ratio as design standard	
Amend building height (on a site by site basis)	

	<p>storey set back from street))</p> <ul style="list-style-type: none"> Lincoln College (Ward and Margaret - 3 Storeys (retain 6 storeys to central areas)) Refinements to other sites to reduce building height near residential boundaries.
Ensure building design is compatible with the historic built form and residential dwellings in the locality.	<p>Refinements to strengthen policies to ensure that new built form is not out of place and contributes positively to the historic neighborhood.</p> <p>Strengthen the need for development applications to recognise the local context and minimise the impact on adjoining residential properties (e.g. neighbour impacts, local historic streetscape character, protect important views and vistas).</p>
<i>Procedural - Non-complying triggers</i>	
Retain non-complying triggers for land uses that are not considered appropriate in a residential context and for buildings that exceed the stated maximum number of building levels.	No changes – Refinement to land uses and maximum heights (site by site).
Remove plot ratio as a non-complying trigger <i>(Note: For St Ann's, plot ratio is currently not a non-complying trigger)</i>	No change on basis that detailed site specific provisions are included to enable assessment of impacts of density of development.
<i>Public Notification</i>	
Retain Category 2 public notification for all developments other than minor.	No change.

Traffic and movement

26. The DPA proposed to maintain the existing Development Plan approach of seeking provision of on-site car parking unless a lower provision is deemed acceptable through an assessment of an individual application. In addition, the DPA sought for new car parking to be located in the basement as a design solution.
27. Submissions have raised a number of concerns surrounding the existing street traffic and parking arrangements in North Adelaide's residential streets and more specifically the lack of on-site parking provided across these sites. Much of the concerns raised relate to historical decisions and approvals that cannot be altered by this DPA.

28. Any Development Plan Amendment can only control future development and a DPA cannot remedy an existing situation. Both the ERD Court and Supreme Court have made numerous judgements indicating that new development does not have to rectify an existing on-site parking shortfall, provided that the new development does not exacerbate any existing problems (see Carrabs Nominees Pty Ltd & Ors v City of Burnside No ERD-02-454 [2003] SAERDC 116 (21 February 2003)).
29. Whilst the limitations of planning policy are recognised, administration will continue to work with land owners of the institutional and college sites to progressively improve travel behaviour in order to improve transport and access to the sites and reduce the reliance on on-street parking.

Minister for Planning's letter (DPTI submission)

30. A number of the above recommendations do not align with the Minister's letter dated 23 July 2015 (and further reiterated in 31 May 2015 letter). The Minister's letter (and DPTI submission) with administration comment and recommendation is summarised below:

Comments in Minister's letter 23 July 2015	Summary of Administration Comment	Recommendation
Consider removal of policies that limit the expansion of Helping Hand, St Dominic's Priory and Calvary Hospital.	The DPA proposes policies to allow continuation of and expansion of activity within existing sites, rather than expansion onto adjoining land.	Retain DPA as proposed.
The ability for innovative and responsive design solutions with the level of detail in the draft Concept Plans and associated Principles of Development Control	The DPA proposes site specific policy and concept plans to guide development. The proposed policies provide flexibility for each site within the parameters of the policy. This will provide a level of certainty for land owners and the community.	Retain concept plans with amendments.
Consider removal of non-complying controls relating to various land uses	This relates to land use (as above) and the ability for sites to expand beyond their boundaries. No change is required beyond the existing boundaries.	Retain DPA as proposed.
Consider removal of non-complying controls relating to building height	The height of buildings is an important part of the character of the North Adelaide Historic (Conservation) Zone. It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.	Retain non-complying building height trigger.

	The DPA increases the maximum building height on the 11 sites subject of this DPA, based on a site by site assessment of a reasonable height – this means each site is achieving increased development potential.	
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31. Administration's approach to the Minister's position has been reinforced in light of submissions raising concerns relating to inappropriate land uses and excessive building height would unduly risk to the residential amenity and the heritage values of the area.

Alignment with Statement of Intent - "Out of scope"

32. A DPA can only pursue matters that were agreed as a part of the Statement of Intent agreed to with the Minister for Planning, unless agreement is reached with the Minister for Planning to alter the scope of the DPA.
33. Three specific matters were raised during consultation, which are outside the scope of the current Statement of Intent for this DPA. These are summarised below:

Issue	Reasons/Comments
<i>Listing Additional Heritage Places</i>	<p>Some submissions sought Council to consider pursuing heritage listing of a number of buildings through this DPA. Pursuing additional heritage listings through this DPA was not identified in the Statement of Intent and therefore is not part of the current agreement with the Minister for Planning. Agreement with Minister for Planning would be required before Council could consider listing additional heritage places.</p> <p>Attachment J outlines the options available to further consideration consider this matter.</p> <p>Such an approach is not recommended because:</p> <ul style="list-style-type: none"> • there is an increased chance the Minister will finalise the DPA and its policy outcome without having regard to Council's request. • past advice from the Minister is that he is unlikely to proceed with a fresh DPA for new heritage listing until planning reform is finalised. • the Minister has recently requested Council to partner with the Department of Planning, Transport and Infrastructure on the proposed heritage reforms. • low chance of receiving Ministerial agreement

<i>Wording of non-complying demolition clause for state and local heritage places.</i>	<p>The matter relates to a recent amendment by the Minister for Planning pursuant to Section 29 of the Development Act 1993, whereby the Minister amended the wording of the non-complying terminology. This was intended to provide consistency, clarity and remove legal doubt with the wording.</p> <p>Through the consultation, it is apparent that there remains doubt among various stakeholders of the legal meaning on the non-complying list. It is the administration's opinion that the Section 29 amendment did not resolve this matter in its entirety across the Development Plan, however rectifying the matter is well beyond the scope of this DPA.</p>
<i>Former Channel 9 site rezoning and 136-137 MacKinnon Parade 'delisting'</i>	<p>Council resolved to send a Statement of Intent (SOI) to the Minister for Planning on 12 April 2016. The Minister has now approved the SOI.</p>

IMPLICATIONS

34. Should Council resolve to forward the amended DPA to the Minister for approval, Council staff will finalise the DPA and supporting documents in accordance with technical requirements.
35. The Minister for Planning can then either:
 - 35.1 Approve the DPA as submitted;
 - 35.2 After consultation with Council alter the DPA and approve the DPA as amended;
 - 35.3 decline to approved the DPA; or
 - 35.4 After consultation with Council, split the DPA into parts (with or without alterations).
36. Once the DPA is authorised by the Minister for Planning, the Environment, Resources, and Development Committee of Parliament will review the DPA and report to Parliament. Council may have the opportunity of being heard by the Committee.
37. In accordance with the Communication and Consultation Plan **Attachment G**, Council administration will provide a tailored response to people who lodged submissions and other stakeholders of Council's decision.

Implication	Applicable	Comment
Policy	YES	The DPA updates the Adelaide (City) Development Plan, once approved.
Business Plan Objectives / Outcomes or Services	YES	Preparation of the DPA was identified in the 15/16 budget.
Consultation	YES	The DPA has met all consultation requirements under the Development Act. Material was prepared to assist the public in understanding the proposals contained in the DPA. Information will be provided to stakeholders who have been responded to this DPA.
Resource	YES	The preparation of the DPA and analysis of submissions have been undertaken using allocated internal resources.
Risk / Legal / Legislative	YES	The CEO will certify that all legislative procedural matters have been followed by Council. Legal input has been considered during the preparation of the DPA.

Budget / Financial Implications

15/16 Budget Allocation	15/16 Budget Reconsideration	Proposed 16/17 Budget Allocation	Ongoing Costs (eg maintenance)	Life of Project / Life Expectancy of Asset
YES - Strategic Operating Projects	NO	NO	NA	NA

ATTACHMENTS

Attachment A – Lord Mayor Letter to Minister Rau

Attachment B – Response from Minister Rau

Attachment C – Additional Public Submissions

Attachment D – Summary of Submissions (Public, Agency and Verbal Submissions) and draft response

Attachment E – Additional Matters and Investigations paper and responses

Attachment F – Development Plan Amendment Policy and Concept Plans

Attachment G – Updated Communication and Consultation Plan

Attachment H – Building Height Summary Sheet

Attachment I – Land Uses Summary Sheet

Attachment J – Considering additional nominations for Heritage Places



OFFICE OF THE LORD MAYOR

Hon John Rau MP
Deputy Premier
GPO Box 464
ADELAIDE SA 5001

Dear Minister

**North Adelaide Large Institutions and Colleges Development Plan
Amendment (DPA)**

Thank you for the recent opportunity to update you on the progress of the above DPA. As I mentioned by phone, the DPA has been the subject of significant consideration by the Council following community and agency consultation.

Council had earlier committed to finalising the DPA by early 2016.

The Council has recognized that the institutions and colleges in question play an important contribution to the education and health sectors in the City and South Australia. At the same time, the results of consultation have presented Council with the challenge of balancing the tensions between the guiding principles we agreed to in the Statement of Intent; namely, fostering economic synergies, maintaining residential amenity, North Adelaide's acknowledged heritage value and integration with transport planning.

Such tensions are being worked through by Council in a positive manner but require time, some additional investigations, and specialist input now being obtained from Marcus Rolfe of URPS.

Accordingly, I request that you grant an extension to 30 June 2016 to receive the finalised DPA.

I trust that the request meets with your approval.

Yours sincerely



Martin Haese
LORD MAYOR

19 April 2016

The Hon John Rau MP

16PLN0377

31 May 2016

Mr Martin Haese
Lord Mayor
Adelaide City Council
GPO Box 2252
ADELAIDE SA 5001



**Government
of South Australia**

Deputy Premier
Attorney-General
Minister for Justice Reform
Minister for Planning
Minister for Industrial Relations
Minister for Child Protection
Reform
Minister for the Public Sector
Minister for Consumer and
Business Services
Minister for the City of
Adelaide
45 Pirie Street
ADELAIDE SA 5000
GPO Box 464
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Tel 08 8207 1723
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Dear Lord Mayor 

North Adelaide Large Institutions and Colleges Development Plan Amendment

I write in response to your letter dated 19 April 2016, requesting an extension in time to submit the *North Adelaide Large Institutions and Colleges Development Plan Amendment* (DPA) for final approval.

I acknowledge that the DPA is a key policy amendment for Council and, as such, it wishes to carefully address the views of all relevant stakeholders. I also note the efforts already made by Council to address a range of detailed policy issues in conjunction with the Department of Planning, Transport and Infrastructure (DPTI).

However, in agreeing to your request, I would like to see the DPA progressed as a high priority and any outstanding matters identified in DPTI's submission adequately addressed before the DPA is submitted to me for approval. On this basis, the timeframe for submission of the DPA for approval is extended to 30 June 2016.

I look forward to receiving the final DPA for approval.

Yours sincerely


John Rau
Deputy Premier
Minister for Planning

Attachment C: Additional Submissions

Submission No.	Name and Address
87.	Robert Hill-Smith 34 Mackinnon Parade North Adelaide <i>(received 18 November 15)</i>
88.	Religious Society of Friends (Quakers) 40a Pennington Terrace North Adelaide
89.	John Harley for and on behalf of Christ Church North Adelaide

North Adelaide Large Institutions and Colleges DPA

Your Say
Adelaide

Submission Form

Submissions close 5pm, Monday 9 November 2015

It is Council's policy that for a formal submission to be received it must include your name and residential address. Formal submissions will be provided to Council and the Minister for Planning and will be a publicly available document. Mandatory information is marked with an asterix

* First Name ROBERT * Surname HILL-SMITH
* Address 34 MCKINNON RDE, NORTH ADELAIDE 5006
E-Mail _____

Please indicate do you want to be heard at a public hearing at 5:30pm on 18 November 2015 at the Adelaide Town Hall? Yes ☐ No ☒

Please tell us how you participate in city life (tick all that apply):

- ☒ Work ☒ Live ☒ Shop ☒ Play (e.g. Leisure, recreation, entertainment, dining)
☐ Study ☐ Tourist ☐ Own a Business

Please provide your feedback regarding the North Adelaide Large Institutions and Colleges DPA.

Comments

THE DESIGNATED AREAS ARE ALREADY BEING IMPACTED BY NEW DEVELOPMENTS INCLUDING THE 55 SPORTS CLUBS PLAYING ON UNI FIELDS OFF MCKINNON PARADE. ON THIS ISSUE ALONE RESIDENTS WERE TOTALLY MISLED. THE FACT THAT PARKING FOR NURSES WILL FURTHER REDUCE FLEXIBILITY OF SPACE USAGE. THESE AREAS ARE PRECIOUS PARTS OF ADELAIDE ARCHITECTURAL & CULTURAL SCAPING. THEY DEFINE OUR CITY. THE IMPACTS ON PRIVACY, PARKLAND VIEWS FUNDAMENTALLY ALTER OUR LIVING CULTURE. IT IS A HEAVY HANDED UNNECESSARY DPA.

North Adelaide Large Institutions and Colleges DPA

Your Say
Adelaide

IT MUST BE REJECTED ON THESE GROUNDS
NONE LET ALONE INCREASED TRAFFIC & ON-STREET
PARKING DIFFICULTIES WHICH HAVE BEEN CHANGING FOR
THE WORSE OVER THE PAST 5 YEARS.

Written submissions must be received by: 5pm, Monday 9 November 2015

(interstate)

DPA Consultation

GPO Box 2252 Adelaide SA 5001

Or

Alternatively, if you wish to lodge your submission electronically, please go to Council's web page
www.adelaidecitycouncil.com/consultation or email yoursay@adelaidecitycouncil.com.

Please indicate whether you wish to be heard at the public hearing.

North Adelaide Large Institutions and Colleges DPA

Your Say
Adelaide

Submission Form

Submissions close 5pm, Monday 9 November 2015

It is Council's policy that for a formal submission to be received it must include your name and residential address. Formal submissions will be provided to Council and the Minister for Planning and will be a publicly available document. Mandatory information is marked with an *asterisk

* First Name **Religious Society of Friends (Quakers)** * Surname
* Address **40A Pennington Terrace, North Adelaide 5006**
E-Mail **bandmarnott@optusnet.com.au**

Please indicate **do** you want to be heard at a public hearing at 5:30pm on 18 November 2015 at the Adelaide Town Hall?* Yes
No ☐ ☐ **YES**

Please tell us how you participate in city life (tick all that apply):

☐ Work ☐ Live ☐ Shop ☐ Play (e.g. Leisure, recreation, entertainment, dining)
☐ Study ☐ Tourist ☐ Own a Business **Worship**

Please provide your feedback regarding the North Adelaide Large Institutions and Colleges DPA.

Comments

The Religious Society of Friends (Quakers) North Adelaide are not happy with the DPA as proposed (let alone the more extreme form the Minister would prefer, with no non-compliance height trigger). Particular issues that concern us:

1. **Proposed building heights in relation to overlooking, shadowing and light reduction, with no mitigation for non-residential properties**
2. **Proposed building envelopes with no plot ratio or set-backs that abut not just our property, but our building itself**
3. **Liveability issues due to densification – loss of carbon neutrality on a suburb-wide scale, heat island effects, road congestion**
4. **Loss of heritage character of North Adelaide**
5. **Lack of “non-compliance” triggers locks the public out of having any say in how their community is developed**

North Adelaide Large Institutions and Colleges DPA

Your Say
Adelaide

Detailed points

1. The Heritage Listed (State Heritage ID10864, Heritage Number 1456) North Adelaide Quaker Meeting House was built in 1836 and used as Quakers' place of worship since then. The building is one of very few carefully maintained Manning Houses and is furnished inside with benches built by the same builder. The Meeting House and its adjacent library are already overlooked and partially overshadowed by a new car parking and residential development at St Mark's College. The library has clerestory windows that allow light from the north and these have been impacted by the new development. Our library has solar panels that have also been impacted. These solar panels are an important component in our Meeting's commitment to carbon neutrality. ~~The proposed new building heights to the north of our property extend right along our property boundary will lead to further significant overlooking, light and shadowing impacts.~~ Our ability to install further solar panels at the Quaker property will be impossible, with the only north-facing suitable roof space overshadowed by development. As the Meeting House and Library are not residences, we understand their light requirements are not protected in this DPA. As a religious organisation, managed entirely by volunteers, we do not have ready funds available to manage the loss of light and heat with artificial lighting and heating. We assert that as an historic place of community and worship, the rights of the Meeting to natural light should not be further threatened by further development.
2. The building envelope for St Marks College, proposed in this DPA, allows buildings up to four stories to be built right up against the northern wall of our library building. The only set-backs or height restrictions proposed for any high buildings in this envelope are that they step down toward Kermode Street and Pennington Terrace. ***We strongly request that the building envelope be moved back from the Quakers' boundary and that similar overlooking and shadowing set-backs be used as are proposed in the DPA for developments adjacent to small residential buildings.***
3. The loss of plot ratio requirements in this DPA will lead to increased densification. This has several impacts on liveability of the suburb as a whole. Firstly, increased population will lead to increased traffic flows on relatively narrow streets, even if all new developments include on-site parking. The meeting has already been adversely affected by the increased demand on parking in the local area as a result of other development. The Quaker community now comprises an increased number of elderly members who require close, safe parking to enable them to continue attend regular worship. It is not uncommon for the Meeting to find strangers cars parked on our property, and all street parking filled, and this has been a difficult ongoing problem for us to manage. Additionally, large buildings are made from heat retaining materials such as concrete. By reducing the area of green space, the combination of additional retained heat in the buildings and loss of evaporative cooling from the vegetated areas causes a "heat island" effect that means the locality may be several degrees hotter than surrounding, better vegetated areas. While these large buildings may well be climate controlled inside, neighbouring residences will be affected and may need to use more air conditioning than otherwise, and may suffer noise impacts from the large air conditioners of the multi-storey buildings. This is a financial and amenity cost for the neighbours. Further, South Australia's Strategic Plan has the reduction of Greenhouse Gas emissions as a target, yet densification of suburbs is likely to increase these emissions.
4. Heritage character of a suburb is not maintained by simply protecting the individual heritage listed buildings. The buildings form a streetscape and this creates the "character" of a place. Large multistorey buildings placed in close proximity adjacent to and behind small older buildings can completely hide the smaller buildings and can result in a radical alteration of the streetscape. It is our assertion that the heritage character of our own Listed building will be diminished as a result of the proposed amendment.
5. We are deeply concerned that the Council has been asked by the Minister to remove the height non-compliance trigger. Such a removal would make a mockery of the proposed building heights proposed for each site in this DPA. It essentially gives the green light to a developer to build to any height they wish. ~~We note that, as addressed above, our buildings have already been adversely affected by merit based approvals, even with existing controls in place.~~ Combined with the loss of plot ratio as a planning tool, loss of "non-compliance" triggers in this DPA would appear to allow large institutions and colleges to build as high as they liked and as densely as they liked with no consideration of whether the other residents of North Adelaide wished to see their "suburb" become a dense, tall "urban" area. The principle of residents having some say about the character of developments in their locality is at risk of being lost in a DPA that seems to provide all the surety to the large developers rather than the residents

Written submissions must be received by: 5pm, Monday 9 November 2015

DPA Consultation

GPO Box 2252 Adelaide SA 5001

Or

Alternatively, if you wish to lodge your submission electronically, please go to Council's web page www.adelaidecitycouncil.com/consultation or email yoursay@adelaidecitycouncil.com.

Please indicate whether you wish to be heard at the public hearing.

Customer Centre - 25 Pirie Street, Adelaide - 8203 7203
yoursay.adelaidecitycouncil.com



Strategy, Planning & Partnerships Committee Special Meeting - Agenda - 22 June 2016

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Subject: FW: Public Consultation on NA Large Institutions & Colleges DPA

From: John Harley
Sent: Wednesday, 25 November 2015 12:10 PM
To: DPA Consultation
Cc: Keith Brice; neil woolman;
Subject: Public Consultation on NA Large Institutions & Colleges DPA

Dear Sir/Madam,

I write to you on behalf of Christ Church North Adelaide Inc. of 62 – 72 Jeffcott Street and 35 Palmer Place, North Adelaide. I am a member of its governing body, the Select Vestry.

We are concerned about the amount of on-street parking, particularly in Palmer Place, occupied for long periods of time by students attending Aquinas College. As a result there is little parking space for people attending church for Sunday services, weddings and funerals. On occasions on a Sunday I personally have had to park close to Brougham Place as there are no spaces available in Palmer Place. There is also little kerbside space in Jeffcott Street due to tree plantings and crossovers. However this problem is exacerbated if there is a large funeral during the week.

We know it is student parking because during University vacations there is ample parking available.

Whilst we understand that many students now have cars and often have part-time occupations requiring cars to access them, there does not appear to be adequate available on-site parking notwithstanding the recent redevelopment of the College.

We would like to submit that, if there are future plans for further development of the Aquinas site, the College be required to provide adequate on-site parking similar to that undertaken by St. Mark's College in Kermode Street.

This submission would apply equally to all of the colleges and institutions referred to in the DPA.

Regards
John Harley for and on behalf of Christ Church, North Adelaide,
PO Box 2001
North Adelaide
SA 5006
Phone: (08) 8361 8880
Mobile: 0419 880 188

Adelaide City Council

North Adelaide Large Institutions and Colleges Development Plan Amendment

Summary of Consultation and Proposed Amendments (SCPA) Report

**NOTE: TO BE FINALISED AFTER COUNCIL
HAS CONSIDERED THE ADDITIONAL
MATTERS AND INVESTIGATIONS DOCUMENT*

Item 4 - Attachment D

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Item 4 - Attachment D

Introduction

This report is provided in accordance with Section 25(13) of the Development Act 1993 to identify matters raised during the consultation period and any recommended alterations to the amendment. The report also provides details of the consultation process undertaken by Council. The SCPA Report should be read in conjunction with the consultation version of the DPA. Where relevant, any new matters arising from the consultation process are contained in this Report. The Amendment reflects the recommendations of Council contained in this Report.

Consultation

• **Consultation Process**

Statutory consultation with agencies and the public was undertaken in accordance with DPA Process B (with consultation approval) and in accordance with Section 25(6) of the Development Act 1993; Regulations 10 and 11 of the Development Regulations 2008; and the agreed Statement of Intent.

The following Local Member(s) of Parliament were consulted on the DPA:

1 Hon Rachel Sanderson State Member for Adelaide

2 Hon Kate Ellis Federal Member for Adelaide

The responses to the submissions are included within **Attachment A**.

The consultation period ran from 27 August 2015 to 9 November 2015.

• **Public Notification**

Notices were published in the 'The Advertiser' on 26 August 2015, the Government Gazette on 27 August 2015 and the City Messenger on 26 August 2015.

The DPA documents were also put on display at the Adelaide City Council's Customer Centre, Libraries and were made available at the Community Centres. A copy of the DPA was forwarded to the Department of Planning and Local Government on 27 August 2015.

Two drop-in information sessions where staff were available to discuss issues and answer questions were held on the following dates:

- 24 September 2015 at Level 1 North Adelaide Village Shop, 67 O'Connell Street
- 1 October 2015 at Lohe Memorial Library, Australian Lutheran College

In addition, an Information Event was held at the Cynthia Poulton Hall, King William Road, North Adelaide on 10 October 2015.

Public and Agency Submissions

• **Public Submissions**

During the public consultation period a total of 89 public submissions were received. Key issues raised in the submissions are summarised as follows:

- **Economic:** Why are we allowing these sites to expand? Why aren't we allowing them to expand more? What are the needs for Health and Education sectors?
- **Traffic and Parking:** Impact on area. Existing parking issues in North Adelaide
- **Heritage Considerations:** Impact to character and heritage of area.
- **Residential Amenity:** Impacts to residential quality.

- Rates: Why don't these sites pay residential rates? Why do they pay less rates?

- Each Site: Specific issues that relate to each site involved in the DPA

A report on each submission (summary, comments, and action taken in response to each submission) is included in **Attachment A**.

- **Agency Submissions**

4 responses were received from agencies. Key issues raised in the submissions received are summarised as follows:

- SA Power Networks raised a series of matters that will be considered in future Development Applications.
- SA Water raised a series of matters that will be considered in future Development Applications.
- DPTI have requested Council to make the following amendments to the DPA:
 - Reduce level of detail provided for each PDC and concept plan
 - Allow for expansion of contiguous allotments in Hill Street Policy Area 1 (St Dominic's, Helping Hand and Calvary)
 - Remove non complying trigger for height
 - St Ann's – Clarify vegetation principle
 - Kathleen Lumley College – remove prescription in DCS
 - Amendment instruction detail to be provided
 - Mapping issues – provide in Adobe
- Rachel Sanderson MP, State Member for Adelaide raised a number of matters heard through consultation from land owners and community members.
- **Review of Submissions and Public Meeting**

Copies of all submissions were made available for public review from 9 November 2015 to 19 November 2015 on the Council website and at the Adelaide City Council Customer Centre. Of the submissions received, 21 people requested to be formally heard at the public meeting held on 18 November 2015.

A copy of the proceedings and a summary of verbal submissions made at the public meeting are included in **Attachment B. Additional Matters and Investigations**

The following additional matters were identified and the following investigations conducted after the consultation process:

1. Fostering Economic Synergies
 - (a) What degree the Development Plan needs to provide flexible planning policy.
 - (b) The procedural tools to manage development applications i.e. where non-complying procedural tools are needed.
 - (c) Land Use mix - Whether it is appropriate for sites to expand beyond their existing boundaries? The physical implications of land use mix
 - (d) Built form: plot ratio and height.
2. Maintaining Residential Amenity

- (a) Residential Amenity (Visual Privacy, Access to sunlight/Overshadowing, Noise and Disturbance and Odour)
- (b) Use of concept plans as a tool
- 3. North Adelaide's Acknowledged Heritage Value
 - (a) Approach to conservation
 - (b) Zoning framework: Appropriateness of the Conservation Zone
 - (c) Policy amendments to retain heritage value to ensure sympathetic and complementary development.
 - (d) Heritage Places - Listed buildings
- 4. Integration with transport planning, based on Smart Move: The City of Adelaide's Transport and Movement Strategy.
 - (a) Integrated Transport Response
 - (b) Parking Design
 - (c) Heritage Values
 - (d) Long Term Planning
- 5. Site Specific Responses
A copy of additional investigations and documents is provided in **Attachment F**.

Timeframe Report

A summary of the timeframe of the DPA process relative to the agreed Statement of Intent timetable is located at **Attachment C**.

The DPA has proceeded in accordance with the agreed timetable. **CEO's Certification**

The consultation process has been conducted and the final amendment prepared in accordance with the requirements of the Act and Regulations as confirmed by the CEO's Certifications provided in **Attachment D** (Schedule 4A Certificate) and **Attachment E** (Schedule 4B Certificate).

Summary of Recommended Changes to the Amendment following Consultation

The following is a summary of the changes recommended to the Amendment following consultation and in response to public submissions and/or agency comments:

Executive Summary

The DPA allows the continuation of the health and education sectors within North Adelaide while ensuring new development is complementary to the dynamic and culturally rich heritage.

The DPA continues to allow the colleges and institutions sites to operate in the same way within their existing land holdings. This will enable the colleges and institutions to continue meet the contemporary demands of the sectors and provide services to the community, including the provision of aged care, student accommodation, education and hospital services.

The Archer West Policy Area has been introduced so the heritage listed buildings are

retained while allowing the redevelopment of incompatible buildings. Over time, built form will be allowed up to six storeys on large consolidated sites and sited away from street frontages and existing low scale residential properties. This will provide for an increase in population with a limited amount of non-residential uses.

The DPA retains all existing heritage listed buildings and provides additional policy to ensure new development is located and designed to protect the fabric and setting of these historically important buildings.

The DPA seeks to protect the high level of amenity enjoyed by existing residents by providing a range of policies to ensure any new development on these sites:

- Provides new buildings designed to fit in with existing historic streetscapes
- Maintains low scale buildings on streets and near residential boundaries i.e. taller built-form is setback from streets and boundaries
- Site buildings to limit overshadowing
- Site buildings off residential boundaries
- Design high activity areas to minimise noise and disturbance
- Maintain visual privacy through balcony and window design
- Provide a high level of landscaped open space

On the 12 April 2016, Council endorsed a proposal to carry out Local Area Traffic and Parking (On-street) Management Plans for North Adelaide over the next 12 months.

In terms of the DPA, any proposed development will need to manage its future transport impact through the provision of off-street parking, bicycle parking and pedestrian treatments. New car parking will be sought to be located at basement level so that the landscaped settings of the colleges and institutions are maintained. In addition, Council will continue to work with the State Government for better public transport services in North Adelaide and work with the land owners to influence travel behaviour to reduce the reliance on private vehicle travel and reduce the need to use streets for car parking.

The DPA retains the requirement for public notification of development proposals to adjoining sites (other than minor applications).

Strong planning controls (i.e. "non-complying") will remain in place for land uses that are not considered appropriate in a residential context and for buildings that exceed the stated maximum number of building levels (i.e. will require a special application process, public notification and adjoining neighbour appeal rights).

SUMMARY OF CHANGES RECOMMENDED TO THE AMENDMENT FOLLOWING CONSULTATION
AND IN RESPONSE TO PUBLIC SUBMISSIONS AND AGENCY COMMENTS: IN GREEN

**TO BE INSERTED
AFTER COUNCIL HAS CONSIDERED THE ADDITIONAL
MATTERS AND INVESTIGATIONS DOCUMENT**

Item 4 - Attachment D

Attachment A – Summary and Response to Public Submissions

Report on each public submission received (including summary, comments and action taken in response)

Sub No.	Name and Address	Submission Summary	Comment	Council Response
1.	Stephen Hedges 266 Melbourne Street North Adelaide	No comment made.	Noted	No change to DPA.
2.	Pavl Klose 175 Archer Street North Adelaide	In support of the DPA.	Noted.	No change to DPA.
3.	Sarah Michael 25 Finnis Street North Adelaide	<u>Kathleen Lumley College</u> Development needs parking. Development should provide underground parking.	The DPA encourages the provision of basement parking and requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		Building shouldn't be so close to the footpath (on Finnis St)	The DPA seeks to ensure the setback is consistent with the existing Finnis Street setback character.	No change to DPA.
4.	Ingo Weber 172A MacKinnon Pde North Adelaide	Concerned that the view to the Church will be gone if St Ann's was to be multi-storey. Will affect the value and charm of their residence directly	The DPA proposes built form up to 4 storeys for St Ann's. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm views to Brougham Place Uniting Church. For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.	No change to DPA.
		Lack of privacy from a 6 storey high rise	The DPA proposes built form up to 4 storeys for the St Ann's site. The existing Council Wide Development Plan policies on visual privacy manage impacts arising	No change to DPA.

			from future development. For more detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.	
		Concerned car parking would further increase noise pollution and decrease their quality of life	The Development Plan policy requires development to manage its transport impact. This includes on-site parking which is designed to minimise the impacts on the streetscape and adjoining neighbours. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
5.	Mani Allan 137 Strangways Terrace North Adelaide	Concerned about the amount of parking west of Jeffcott Street and does not feel it adds to the vibrancy of the suburb. Commercial accommodation is erected with no provision for parking.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
6.	Andrew Welch Santina De Nicolo 8 Finnis Court North Adelaide	In favour of future developments at the institutions.	Noted.	No change to DPA.
		Would like additional undercroft parking in design proposals. Student Colleges should implement that students do not have cars	The DPA encourages the provision of basement parking. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
7.	Richard Spalvins 58 Finnis Street North Adelaide	<u>Kathleen Lumley College</u> Concerned about lack of car parking.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This	No change to DPA.

			<p>includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport and Kathleen Lumley College.</p>	
8.	Peter Scragg 52 Hill Street North Adelaide	<p>There are a number of institutions that detract from the residential fabric. A 6 storey building is over the top.</p> <p>Requested that the DPA be refused.</p>	<p>Noted. All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA does not actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
9.	Angela Potter 6a Warwick Ave Kurralta Park	<p>All development should take into account the limited parking around North Adelaide.</p> <p>The council needs to take into consideration the well-publicised lack of parking availability for patients at the Women's and Children's Hospital.</p> <p>Public transport in the area appears to be appropriate.</p>	<p>Noted. The DPA seeks to provide an integrated transport approach which would help to resolve the tensions between land use and transport and the resultant trip generation. In a Development Plan sense, transport and parking challenges relate to ensuring that suitable access is provided to a site without unduly impacting on the amenity of the locality through inappropriate design, parking stress and inappropriate traffic volumes.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA. Seek State Government support.
		<p>Development needs to ensure open space, gardens and play grounds remain accessible.</p>	<p>The DPA does not affect the accessibility of open space, gardens and play grounds. The DPA has retained the requirement to provide landscaped open space on each site to ensure sites have adequate open space.</p>	No change to DPA.

10.	Jagan Singaram 171 Gover Street North Adelaide	Believes the DPA is in the right direction and supports all of the changes proposed for the following reasons: <ul style="list-style-type: none"> · Colleges and Institutions should be allowed to adapt to changes · Increase residential density · Establish developments that maximise economic benefits · Establish more greenery with imaginative landscaping 	Noted.	No change to DPA.
		The DPA should also include changes to Park Lands protection. Protection should not impede road widening where user safety is paramount. Should be more planting of trees and vegetation to attract native birds and animals and well landscaped spaces for sculpture and seating.	Changes to the Park Lands are not subject to this DPA. These comments have been provided to the Park Lands team which is currently reviewing the Park Lands Management Strategy.	No change to DPA. Refer comments to the Park Lands Team.
11.	Richard Harvey 14 MacKinnon Parade North Adelaide	Opposes development of Prince Alfred Old Scholars in Park 9. The Park Lands should not be encroached on further.	Noted. This matter is outside the scope of the DPA.	No change to DPA.
12.	Maria Manis 143 MacKinnon Parade North Adelaide	Development policy must take into account existing residents and consideration must be given to complement the historic nature and value of North Adelaide.	Noted.	No change to DPA.
		Does not oppose height of up to 6 metres however should be respectful of and have a residential focus.	Site specific responses have been provided in relation to height and setbacks. The DPA policy seeks to retain the heritage values of North Adelaide which includes retaining the historic streetscapes. The DPA allows low scale streets to reflect existing built form i.e. 1-3 storeys. Where opportunity for taller buildings is provided, the development plan policy seeks for it to be located away from sensitive streetscapes and adjoining residential allotments. For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Heritage Value and Site Specific sites.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		New development policy should continue to support residents who pay rates and taxes and should not	Property values are not strictly a planning matter. Development plan policy has been provided to	No change to DPA.

		demean and degrade the value of existing properties and residential standard.	retain the residential amenity and not to diminish the heritage value.	
		New development must consider the increase in baby boomers over the next 30 – 40 years who are looking to downsize however there are insufficient medium sized town houses or apartments in North Adelaide. Would like the ageing population to be considered.	Housing for the aging demographic is a central need for the amendment to the Development Plan. It is intended that the Helping Hand Aged Care will provide additional aged accommodation. In addition, Archer West Policy Area 13 will also provide additional “downsizing” opportunities and for people to age in their existing communities.	No change to DPA.
13.	Jane Walkley 26 Palmer Place North Adelaide	<u>Aquinas College</u> Concerned about the parking issues around Aquinas Colleges due to the limited amount of on-site parking provided on site. More on-site parking should be set aside for parking purposes.	The Development Plan policy requires development to manage its transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For more detail, refer to ‘Additional Matters and Investigations’ paper on Transport and Aquinas College.	No change to DPA.
14.	John Ayers 256 Stanley Street North Adelaide	Changes should not be made to suit individual institutions. Not against development however believes Council/Government should review applications on their merits. They should be economically sound and not to the detriment to rate payers i.e. Consideration should be given to devaluation of property, loss of light, loss of views etc. Once regulations change for groups of institutions, there is pressure expand the new regulations. e.g. Melbourne St expanded over the years resulting in parking problems, traffic congestion. Do not want more “larger” developments	Noted. The DPA involves reviewing the policies in relation to each site. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views. The DPA is in accordance with the 30 Year Plan. The strategic direction primarily allows for intensification along Melbourne Street and O’Connell Street and retaining the surrounding historic values. The majority of zoning changes have been made in North Adelaide which will see an increase in development in these areas. Residential amenity is paramount to ensuring development is sensitive and complementary. For detailed response, refer to ‘Additional Matters and Investigations’ paper.	Revise DPA in accordance with ‘Additional Matters and Investigations’ paper.
15.	Anne Lang	Supports the expansion of the existing colleges and	Agreed.	No change to DPA.

	15 Briacie Street Kensington	any moves to help education and hospitals. The expansion of buildings in areas overlooking the Park Lands is for the general public not just North Adelaide residents. Support new initiatives that help, expand small businesses, hospitals, colleges.		
16.	Jane Hickey 8/172 Archer Street North Adelaide	Would like the height of buildings limited so that privacy, natural light and views are not significantly compromised.	Agreed. Site specific responses have been provided in relation to setbacks from boundaries. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Policy around protecting important views has been strengthened. For more detail, refer to 'Additional Matters and Investigations' paper on Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Archer West Policy Area 13.
		There should be open space in between to break up larger buildings. Important proposed buildings are well designed and built with quality building materials in keeping with the character of North Adelaide.	Agreed. The DPA has incorporated the requirement to provide landscaped open space on each site to ensure sites have private provision of open space which assists in providing a break in between each building breaking as well as the requirement of introducing smaller building footprints. For Archer West Policy Area 13, policy has been strengthened to ensure spaces are provided between buildings to avoid long, unbroken building frontages. For more detail, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Archer West Policy Area 13.
		Wish to ensure that the trees along Archer Street are not destroyed by future development. Any trees removed should be replaced when works are finished.	Street trees along Archer Street will be managed in accordance with Urban Design Framework. The Development Plan Policy seeks consolidated access points to ensure limited impact to the street trees.	No change to DPA.
17.	Valerie Stevens 42 Molesworth St	<u>Helping Hand Aged Care</u> Increased height will lead to increased staffing,	Noted. Council wide policies are provided to assess residential amenity such as visual privacy,	No change to DPA.

	North Adelaide	<p>visitors, parking requirements, air conditioning, kitchen, laundry and gardening services.</p> <p>The DPA changes will allow institutions to cater for a larger number of people which will increase the number of visitors.</p> <p>There are currently problems with parking in Molesworth St, the kitchen exhaust fans and inefficient and create an unpleasant environment for residents. The laundry operates for long hours and creates an irritating and audible noise.</p>	<p>overshadowing noise, servicing and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development, noting that the Development Plan Policy cannot resolve existing conditions.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, Transport and Helping Hand Aged Care.</p>	
		<p>Further scope for development will lead to more building programs and increased unreasonable disruption to residents. The DPA will lead to further significant disruption and aggravation to a residential area.</p>	<p>The EPA has guidelines that aim to limit the impacts during construction.</p>	<p>No change to DPA.</p>
18.	Nicholas Jose	<p>The proposal is inappropriate and should be rejected.</p> <p>North Adelaide is a small, residential area surrounded by parkland with a high heritage value and a distinctive character. Its integrity as a historical precinct is central to its value--including economic value as a primary cultural asset and tourist attraction.</p> <p>The historical nature of the uses provides no argument for changing existing development rules in North Adelaide and irreversible changes to its character.</p> <p>Areas such as the CBD, is an area where expanded hospital, school and student accommodation could be developed.</p> <p>Changed development rules tailored to the institutional economic needs discriminates against the majority residential users of North Adelaide.</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or aim to introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue to enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>

			<p>been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	
		<p>Changes for the 11 institutions as a bloc (and with the addition of Channel 9 and others it is potentially more) prevents discussion of issues that may relate to each individual site. This is bad planning in an area of this size and distinctiveness. Details of each site need to be provided for a meaningful assessment: issues include:</p> <ul style="list-style-type: none"> · height (new maximum building heights ranging from 2 to 6 storeys--there is a huge difference between 2 and 6) · traffic impacts and parking (Archer St is very narrow for what the image of development indicates there) · overshadowing · demolition of quality and listed buildings · indeterminate mixed use. 	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>The DPA has proposed individual and tailored responses. A standard 'one size fits all' approach was not deemed appropriate due to the individual circumstances of each site being quite different.</p> <p>Site specific responses have been provided in relation to height and setbacks from boundaries. In addition, DPA amendments have been made to the transport and movement policies in Policy Area 13</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>Detailed analysis of car parking standards, traffic access and public transport options is essential in each case.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA.</p>

		<p>Compliance with current plot ratio and building heights and heritage status must be retained. A lesson can be learned from Hyde Park, a turn of the century heritage suburb in Austin Texas, Adelaide's sister city. A popular church there started buying up neighbouring historic bungalows and demolishing them to create parking for its congregation.</p>	<p>Noted. The DPA proposes other policies to guide density and built form. While plot ratio offers a quantitative number, when used alone, it does not provide for a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan to enable compatible development.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
		<p>High standard student accommodation could be built on the former LeCornu site, or in the CBD.</p>	<p>Noted. This outcome is already possible under the current Development Plan. This DPA does not seek to limit those opportunities or focus all new student accommodation on the sites within the DPA.</p>	No change to DPA.
		<p>Endorses that 'residential amenity in North Adelaide should be maintained and retained as primarily a residential area'. The world-class heritage properties of the area are central to that amenity and should be given priority.</p>	<p>Residential amenity is paramount to ensuring development is sensitive and complementary.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	No change to DPA.
19.	Mary Jose 88 Finnis St North Adelaide	<p>North Adelaide is a unique heritage area. It is one of the first areas settled in South Australia and contains many buildings of historic interest as well as expansive parks and gardens. It is a small and unique pocket that should be enhanced and preserved. Adelaide is famous for our architectural style and North Adelaide is a showcase for this.</p> <p>There is no need for large scale commercial development within the residential area of North Adelaide and could be located elsewhere.</p> <p>Student accommodation could be located in the city near the university campuses which would be much more convenient. There are many underutilized buildings in the city that could be redeveloped for this purpose.</p> <p>The current height limit has allowed the successful</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.

		<p>redevelopment on Jeffcott St at Aquinas College. Helping Hand has large property holdings in Buxton St that could be redeveloped to provide a larger facility within the current guidelines.</p> <p>Linear park, less than 5 minutes away behind the brewery, offers many opportunities for development for businesses such as Helping Hand. There are large tracts of the Torrens in Thebarton that are backed with ugly industrial properties and razor wire. Surely sites such as these could be better utilized encompassing the river location for accommodation and aged care seen both up and down the river from this location.</p> <p>This is an opportunity for some creativity and vision to create a better outcome for all instead of just looking at the obvious and less creative options.</p>	<p>in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	
20.	Karen Magraith 52 Grays Road Ferntree	<p>The most important aspect of planning for large institutions and colleges in North Adelaide is the planting and maintenance of trees, especially old/large trees, and gardens, and open space in general. Native plants in particular provide important habitat for birds and animals and maintain the beauty of the area for visitors and residents.</p>	<p>Agreed. To complement the existing pattern of development, the Development Plan policy will continue to require landscaped open space to be provided. This will deliver a number of benefits including screening, habitat, landscape qualities and reduce urban heat island effect.</p>	No change to DPA.
21.	Richard Parham 14 Figtree Court North Adelaide	<p>Concerned about car parking implications associated with the expansion of the institutions and colleges in North Adelaide.</p> <p>North Adelaide has serious parking problems in, particularly since the Adelaide Oval redevelopment and the parking of hospital workers, have received much publicity.</p> <p>Suggests that development applications from all large institutions and colleges in North Adelaide to include sufficient on-site (preferably underground) parking to provide for any increase in the number of cars associated with the development.</p>	<p>Noted. Seek State Government to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites.</p> <p>In reference to on-site parking, the DPA encourages the provision of basement parking. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For more detail, refer to 'Additional Matters and</p>	No change to DPA. Seek State Government Support.

			Investigations' paper on Transport.	
		<p><u>Helping Hand Aged Care:</u></p> <p>More residents mean more staff and more cars. However, Buxton Street cannot take any further impact from increased on-street car parking. Supports the statement in the Helping Hand Proposed DPA that 'new development should provide on-site car parking to cater for any increased demand'. However, would prefer 'must' rather than 'should', and maybe also 'underground' could appear somewhere explicitly.</p> <p>Currently Helping Hand has limited on-site parking for workers and none for visitors, volunteers, or the students.</p> <p>The unrestricted parking section of Buxton Street is full of cars all day every weekday. It is the nearest street to Adelaide Oval that does not have event parking restrictions, and is the route of the free Connector bus, which has now increased in size and doubled in frequency. All this in a narrow residential street.</p> <p>In favour of sustainable growth of the Helping Hand and recognises the need for aged care places will increase in future.</p>	<p>"As Above"</p> <p>In terms of the wording "must", the Development Plan is not written in that way. It is guideline document rather than a contract or statute. The language is in accordance with the State Planning Policy Library.</p> <p>Refer to site specific response in the 'Additional Matters and Investigations' paper on Transport and Helping Hand Aged Care.</p>	<p>No change to DPA. Seek State Government Support.</p>
22.	Claire Roberts 33 Strangways Terrace North Adelaide	<p>The historic and heritage significance of the North Adelaide Historic Conservation Zone, a predominantly residential area, must be respected and protected. It would be regrettable if development threatened the appearance and fabric of the historic conservation area which contributes to the economy through tourism and commercial activity.</p>	<p>Agree. For a detailed response refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>What is the meaning of a heritage conservation zone if it is not respected and enforced? North Adelaide has unique historic and heritage significance and should preserve its significance for future generations.</p>	<p>The purpose of the Historic Conservation Zone is to ensure that the areas heritage values area not diminished.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors whilst ensuring the heritage values of the locality are not</p>	

			<p>diminished.</p> <p>For a detailed response refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
		<p>Developments by large institutions and colleges should be assessed on a case by case basis and not given approval to proceed based on perceived "merit". They should abide by the same laws and regulations as residents in relation to height, plot ratio and other limitations, particularly as it is a historic conservation zone.</p>	<p>Noted. However, the DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>Car parking is a serious issue in the area and must be incorporated into any development applications</p>	<p>The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>In terms of the wording "must", the Development Plan is not written in that way. It is guideline document rather than a contract or statute. The language is in accordance with the State Planning Policy Library.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA.</p>
23.	David Ness 15 Finnis Court North Adelaide	<p>Changes to policies and development controls, involving relaxation of height limits, plot ratio and the like will represent a financial 'windfall' for the institutions due to the considerable increase in land values. It is extremely important that a proportion of this unearned increment is captured by the ACC and State Government to fund increased public infrastructure and other public works such as public spaces and amenities.</p>	<p>Noted. Value capture type arrangements are not currently outlined under the Development Act 1993 and nor was this part of the scope of the DPA. Nevertheless, it is intended that the value be provided to the existing colleges and institutions to provide for the health and education sectors, key economic drivers within South Australia. Many of colleges and Helping Hand provide lower cost housing for students and the aged.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>Increased densities will result in greater traffic flow, and place a strain on ageing infrastructure such as</p>	<p>The economic benefit of these sites should also provide benefits to the community.</p>	<p>No change to DPA</p>

	water, storm drains, sewers, footpaths, roads etc. Such a charge on the property owners who benefit from policy relaxations will help offset the financial burden on council, ratepayers and taxpayers, and could help support a light rail link to North Adelaide.	Refer to 'Additional Matters and Investigations' paper on Transport which advocates the State Government to prioritise public transport improvements in North Adelaide.	
	Some of unearned increment should also be used to subsidise more affordable accommodation in the colleges, hospitals and North Adelaide as a whole. This is consistent with Affordable Housing objectives of the State Strategic Plan.	As mentioned above, many of the residential colleges and Helping Hand provide lower cost housing for students and the aged.	No change to DPA.
	Most of North Adelaide is a Conservation Zone, which encompasses not only heritage places themselves but also their surrounds. Also, groups of buildings that may themselves not be heritage significance may themselves contribute greatly to the heritage zone. An example is the row of single story cottages in Finnis Street, which it appears from the schematic proposals, are proposed to be demolished. Furthermore, views of heritage places such as landmark Brougham Place Church could be disrupted by high development on Brougham Place and Melbourne Street corner as part of St Ann's College, coupled with loss of important area of open space at this gateway to the city. Again, the objectives of the SA Strategic Plan pertaining to Urban Spaces and also Tourism should be acknowledged. Destruction of the heritage of North Adelaide will damage its tourist attraction	Noted. For further detail, refer to 'Additional Matters and Investigations' papers on North Adelaide's Acknowledged Heritage Value, Helping Hand Aged Care, Kathleen Lumley College, St Ann's College and Aquinas College.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.
	The State Gov't wishes to involve the community/ residents more in Development Planning phase, and to reduce input at the Development Approval stage. However, the schematic proposals as presented are far too broad to enable proper and informed comment of residents, and it is to be hoped that more detailed proposals and master plans will be prepared and discussed publically for each site.	Agreed, public consultation on the DPA can only go so far in providing the detail. The DPA retains category 2 public notification for most developments. This will allow consideration of the detail. The DPA detail establishes the guidelines.	No change to DPA
	The Development Plan Amendment does not appear to pay heed to the desire of Council and SA Government to achieve a low/zero carbon city.	The Development Policy provides a certain level of carbon management and does not impede it from occurring. The City of Adelaide in accordance with	No change to DPA

		Again, this point was raised at 1 October public meeting. The whole tenor of the proposals, especially the tall private development shown for Archer West Policy Area 13, suggests a high consuming, high energy, high emissions and high carbon society, inhabited by the wealthy in their extravagant apartments with their 6 cylinder cars petrol guzzling 'Toorak tractors', coupled with loss of green open public and other space, the lungs of the city.	the Carbon Neutral Strategy 2015-2025 will be identifying ways for development to deliver a world first carbon neutral city. Urban consolidation measures as per this DPA a significant component of low carbon. Reducing in the need for travelling is an important element of carbon neutrality. The centralised location of these sites provide a good grounding in reducing vehicle trips. Continuing the requirement of landscaped open space also enhances the environmental qualities of these sites.	
24.	John Cruickshank 27 Buxton Street North Adelaide	<u>Helping Hand Aged Care:</u> Upset that they were not consulted about the DPA	Noted.	No change to DPA.
		A 4 storey high development, 4 metres away from the boundary will dwarf the house and affect the appearance from the street, compromise privacy, limit the amount of sunlight to their garden. A nursing home which is too big and overdeveloped for the plot, with no green space or nice buildings spoils the streets and dwarfs the Victorian building	Site specific responses have been provided in relation to height and setbacks from boundaries. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. The retention of the requirement of 50 percent landscaped open space will ensure the private provision of open space which assists in providing a break in between each building breaking as well as the requirement of introducing smaller building footprints. For more detail, refer to 'Additional Matters and Investigations' paper on Residential Amenity and Helping Hand Aged Care.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.
		Car parking is already at a premium which is exacerbated when events are staged at adelaide Oval. The nursing home expansion would require more staff to look after residents and more visitors. The Development Plan makes provision for additional parking for additional residents however most do not drive. The Development Plan should require additional parking for visitors and staff	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking for visitors and staff as well as designing parking areas to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.

		Demolition and rebuilding of a 4 storey structure will generate noise and pollution affecting residents as well as additional parking pressure from workmen and construction. There is no mention on how the effects will be mitigated.	Issues associated with construction are challenging. The EPA has guidelines that need to be abided by during construction. The guidelines are aimed at limiting impacts during construction such as noise, hours of use of machinery and control of pollution such as dust. For further detail, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care.	No change to DPA
25.	Rev Dr Mark Worthing on behalf of the Immanuel Lutheran Church Congregation	<u>Comments on Lutheran Church:</u> Concerned high-rise development up to or close to the footpath will damage the streetscape and the architectural significance of Immanuel Church. Development to the east would mean that the architecturally designed windows to the capture sunlight would no work as there would no longer be morning light. A buffer zone preventing overshadowing of residential dwellings and other key buildings already exists from Jeffcott to Walter St that prevents tall buildings from being constructed close to the footpath. Requests Council to extend the overshadowing buffer along on Archer St to Immanuel Lutheran Church and the sites on either side.	Any development east of the Immanuel Lutheran Church is within is the Main Street (O'Connell) Zone, which is outside the scope of the DPA. The DPA requires taller built form elements to be setback from Archer Street which includes the property west of the Immanuel Lutheran Church. The policy does not articulate a specific quantitative setback as it does for residential land uses, however a suitable interface would be required to achieve an appropriate interface with existing built form. For further detail refer to 'Additional Matters and Investigations' paper on Archer West Policy 13.	No change to DPA.
26.	Gwen Marian 3/99 Buxton St North Adelaide	Supports the continuation of colleges and institutions to adapt to changing circumstances with minimum overlooking, overshadowing and noise levels. Supports sensitive infill development that fits in with areas of heritage value and amenity.	Noted. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Overlooking, overshadowing and noise attenuation policies will continue be applied. For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value.	No change to DPA
		Concept plans to guide future development is a good suggestion. Would like to see a sunset clause to enable a change in use, but then restoration to its	Noted. The DPA retains the existing policy framework. Non-complying triggers are in place for most non-residential development. Any future	No change to DPA.

		former use i.e. short term holiday/recreation use for overseas students to use bed and breakfast facilities of universities (must be enforceable with penalties to deter misuse).	change of use would be expected to meet the broader policy area desired character.	
		Higher buildings need to be constructed to: <ul style="list-style-type: none"> · ensure minimum outside and communal area maintenance · minimise overheating and cooling · ensure adequate emergency evacuation 	These issues are building code matters and are outside the scope of this DPA. No change is proposed as part of this DPA.	No change to DPA.
		Is it possible to build in low cost rental accommodation for old age pensioners in the aged care facilities?	The intent of the DPA is to enable Helping Hand Aged Care to continue to provide aged accommodation. The Archer West Policy Area 13 will also provide a range of “downsizing” opportunities. The requirement of providing low cost rental accommodation is outside the scope of this DPA and therefore no change is proposed.	No change to DPA.
		Is it possible to ensure workers in these institutions use smaller vehicles in particular self-driving vehicles with appropriate recharge points?	This requirement is outside the scope of this DPA. For detail, refer to ‘Additional Matters and Investigations’ paper on Transport.	No change to DPA.
27.	Richard & Fiona Cooper 313 Ward St North Adelaide	Concerned that building height gets no more than a cursory acknowledgement and once the DPA is approved building heights of 10 or more stories could be approved.	The DPA retains the non-complying trigger for applications over the maximum building height. While a development application that exceeds the stated building height can still be lodged, it would be subject to a rigorous assessment process and third party appeal rights (non-complying process). The DPA does not support 10 storey developments on any site due to this scale building being inappropriate in the NAH(C) Zone and the diminishing impact on the Heritage Value. For further detail, refer to ‘Additional Matters and Investigations’ paper on Fostering Economic Synergies which has a section on procedural tools.	No change to DPA
		Unregulated heights and buildings will overshadow some existing homes, streets, parks and gardens.	The site specific guidance has been developed to limit impacts of height on the historic streetscape. Existing policy will be used to manage overshadowing impacts to homes, streets, parks	No change to DPA

			and gardens. To understand how this is applied further, refer to 'Additional Matters and Investigations' paper.	
		Concerned about little discussion on the inevitable increase in cars in the area or what arrangements have been made to accommodate the increase.	The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For further detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA
		Have endured 2 years of construction with the building of the hospital. The DPA would add years more of construction.	Timeframes for construction are challenging. The EPA has guidelines aim to limit the impacts during construction.	No change to DPA
28.	Sarah Boxall 114 Stanley St North Adelaide	Concerned the DPA will have a major and detrimental effect on the desired character of the Nth Adelaide HCZ. Urges Council not water down but strengthen restrictions laid in the documents.	Noted. The purpose of the Conservation Zone is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C)Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions whilst retaining North Adelaide's heritage value. For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	No change to DPA.
		What happens if institutional land purchases adjacent land?	DPTI and some land owners have requested Council to consider changes that would allow expansion beyond the existing boundaries. For example, the DPA recognises the long standing education use of St Dominic's and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area. For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.	No change to DPA
		Concerns are related to residential amenity,	Residential amenity is paramount to ensuring	No change to DPA

	<p>heritage conservation, views, vistas parking and transport issues.</p> <p>Increasing built form will reduce amenity due to the bulk of buildings and increased height leading to overlooking and overshadowing.</p>	<p>development is sensitive and complementary. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	
	<p>What happens if institutions divest themselves of part of or their entire site?</p>	<p>The DPA retains the existing policy framework. Non-complying triggers are in place for most non-residential development. Any future change of use would be expected to meet the broader policy area desired character.</p>	<p>No change to DPA.</p>
	<p>It will increase traffic and parking demand. Lower North Adelaide is densely populated and all day parkers seize all available space.</p> <p>Some car parking wording is not definitive. Concerned if it is not provided on-site will it be provided neighbouring residential areas either on street or off-street.</p>	<p>The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA</p>
	<p><u>St Mark's</u></p> <p>Is the adjacent open lot parking site on Kermod St, intended to incorporate this site within the plan?</p>	<p>To Council's knowledge, St Mark's College have not indicated that they wish to occupy this site.</p>	<p>No change to DPA</p>
	<p><u>Lincoln College</u></p> <p>The Ward St/ Margaret St corner illustration appears to tower over the coach house & contradicts the need to step down in height; it is shown to be overhanging rather than stepped back. The setback required may be too small. 6 storeys is too high for this site.</p>	<p>Noted. Lincoln College has existing buildings up to 4 storeys to Ward Street. Adjoining the site to the West, development is envisaged up to 6 storeys. The DPA proposes up to 6 storeys however transitioning down in height to 4 storeys along Ward St and Margaret St. It is considered that the DPA offers significant benefits to the area as the current building offers little to streetscape and Conservation Zone.</p> <p>Refer to 'Additional Matters and Investigations' paper on Lincoln College for site specific response.</p>	<p>No change to DPA</p>
	<p><u>Memorial Hospital</u></p>	<p>Noted. Given that the new Women's and Children's</p>	<p>No change to DPA</p>

		With the likely vacating of Women's & Children's Hospital, the 6 storey height appears too massive until the future development of this site is considered. Parking will continue to be a major issue if it is not required to be on-site.	Hospital is not likely to occur until 2023 and the Memorial Hospital would like to update their facilities in the near future, it is important planning policies are in place to positively guide the built form to achieve a positive outcome. Refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	
		<u>St Ann's College:</u> Access to this site will continue to be an issue. Views are important to be preserved.	Noted. The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The DPA does not propose to changes the existing Desired Character Statement of the Stanley West Policy Area 10 which seeks to protect the views of the City from Stanley St and Brougham Pl properties. For further detail, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, Transport and St Ann's College.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper on St Ann's College.
		<u>Archer West Policy Area 13:</u> The interface with Archer St will add to the traffic & parking pressures on this narrow, tree lined street as well as possible wind tunnel effects from high rise developments; 6 storeys is too high for this area.	Noted. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. Specific changes have been made to the transport and Movement Policies as well as Built Form and Character in Policy Area 13. For more detail, refer to 'Additional Matters and Investigations' papers on Transport and Archer West Policy Area 13.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper on Archer West Policy 13.
29.	Chris Vounasis, Future Urban Group on behalf of Lutheran Church of Australia (LCA)	<u>Lutheran Church</u> Commends the Adelaide City Council for proposing a number of changes to the NAHCZ which will greatly assist the LCA in achieving a sensible and contextually responsive master planned development of its land.	Site specific changes have been provided to site specific parameters. Refer to 'Additional Matters and Investigations' paper on Archer West Policy 13.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper on Archer West Policy 13.

	<p>The LCA has a strong historical attachment in the NAHCZ and seeks to renew and rationalise its national administrative and seminary facilities to secure its long term presence in North Adelaide.</p> <p>To ensure the financial viability of the project, the LCA seeks to create an integrated community, cultural and residential precinct.</p> <p>A financially viable project will constitute a non-complying development under the current Development Plan despite there being non-complying improvements currently on the site.</p>	<p>The DPA allows opportunities to expand existing non-residential community, commercial type uses while providing housing opportunities for a range of demographics.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.</p>	No change to DPA.
	<p>Supports the creation of a new PA13, to promote the orderly development of Area 3 and to maximise the potential for the land to be integrated as a whole, the LCA recommends that:</p> <ul style="list-style-type: none"> Area 3 be included entirely within the Main Street (O'Connell) Zone; or the LCA land holdings be identified as the only exception to the non-complying height trigger in PA13; or the non-complying height trigger be removed entirely for PA13; 	<p>The DPA does not propose to change zone boundaries of the Mainstreet (O'Connell) Zone or the Historic (Conservation) Zone and such changes would be outside the scope of the DPA.</p> <p>The DPA proposes a Policy Area which allows an increased amount of development allowing the land to be integrated as a whole.</p> <p>The height of buildings is an important part of the North Adelaide Historic (Conservation) Zone. It is therefore important that Policy in the Development Plan clearly outlines expectations around height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.</p>	No change to DPA.
	<p>Supports the land uses desired for the PA13 however a museum in PA13 is non-complying despite the desired character statement describing it as an appropriate land use. Accordingly, the LCA recommends that Policy Area 13 be identified as an exception to avoid the contradiction.</p>	<p>Agree. Revise DPA, to exempt uses such as a museum, leisure studio, day care centre, consulting room and recreation centre from the non-complying list in PA13.</p> <p>For detailed response, refer to Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p>The LCA is encouraged that an educational establishment in PA13 is not non-complying</p>	<p>Noted.</p>	No change to DPA.

		ensuring its educational history and ongoing educational presence on the site is not lost		
		<p>Changes to PDC 13 are needed (in line with the recommendation set out on page 8) which will better acknowledge the existing context and desired character of the streets whilst avoiding potential conflict between the application of PDC 8 and PDC 13; suggests the following changes:</p> <p><i>Development up to 6 building levels or 18 metres may be appropriate, where parts of buildings above 2 building levels; or, where the height of an existing building fronting the street is greater than 2 building levels, the portion of new development above this height:</i></p>	<p>Noted. If sited centrally the taller built form would be supported. If development was sited on the street frontage, PDC 8 will recognise and acknowledge existing heights. This will allow existing heights to be maintained and additional development opportunities where taller built form is set away from the street.</p>	No change to DPA.
		<p>The extent of land required to be free of development for the purposes of an existing and future obstructed view/vista in Concept Plan Fig 13/1 will reduce the developable area of Area 2 which is not supported.</p>	<p>Hebart Hall is a State Heritage Place and its listing includes the front, side and rear walls of the building which contribute to its landmark qualities. The views of the building make an important contribution to the character of the area and it is therefore important that these views are retained and unobstructed from the construction of new buildings. For detailed response, refer to Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.</p>	No change to DPA.
30.	Sister Jillian Harvey St Dominic's Priory College (jointly made by St Ann's College, Lincoln College, St Mark's College, Aquinas College, Kathleen Lumley College)	<p>The present Development Plan substantially constrains their sites making regeneration and redevelopment difficult. Amendments are critical to enable planning for the future with more certainty and confidence.</p> <p>Believes significant restraints will remain if the DPA is authorised in its current form.</p>	<p>Site specific changes have been provided to site specific parameters.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' papers on the educational establishments.</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' papers.
		<p>All of the sites are largely within the NAHCZ which is largely about low rise residential development with an emphasis on historic character preservation. The zone does not reflect the nature, function and role of existing institutions.</p> <p>The sites should be located within an institutional land use zone. That reflects their existence and</p>	<p>The purpose of the Conservation Zone is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C)Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and</p>	No change to DPA

	<p>provides opportunity for reasonable regeneration and redevelopment.</p> <p>Alternatively each site should be placed in a specific policy area.</p>	<p>institutions.</p> <p>The appropriateness of the NAH(C)Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C)Z and respective Policy Areas.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
	<p>The DPA in the case of St Ann's College, Lincoln College St Mark's and Aquinas College reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and is at odds with the request of the Minister.</p> <p>The limitations do not reflect the existing activities and uses of the colleges. Activities such as academic tutoring, residential tutors, mentoring programs are critical activities. Should be revised to include student accommodation and educational activities.</p>	<p>Agree. The intent was to retain the existing land use i.e. <i>"be associated with student accommodation and educational uses."</i></p>	<p>Revise DPA.</p>
	<p>There is a relaxation of non-complying triggers, the Concept Plans will constrain regeneration and redevelopment.</p> <p>The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and concept plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.</p> <p>The Concept Plan and associated DPA provisions should be removed and replaced with appropriate performance based provisions.</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept plans within the current Adelaide (City)</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>

			<p>Development Plan.</p> <p>The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value and Maintaining Residential Amenity.</p>	
31.	Jamie Botten, Botten Levinson Lawyers on behalf of St Dominic's Priory College	<p><u>St Dominic's</u> is a participant in a dynamic and ever evolving service sector. Accordingly, it needs to be in a position to respond to change and student requirements quickly and efficiently. The present Dev Plan significantly constrains redevelopment and regeneration.</p> <p>Min for Planning, requested Council to remove those constraints and rely on a merit based planning framework for the North Adelaide Institutions and Colleges, including St Dominic's. The DPA does not achieve that end.</p>	<p>The DPA has sought to achieve a reasonable balance between the needs of the current land owners and the historic values and character of the area.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' papers.</p>
		<p><u>Land Use</u></p> <p>The existing provisions of the Dev Plan applicable to land external to the existing site boundaries (and reasonably proximate to St Dominic's) should be amended so that they permit educational establishment type uses being developed on that land, and not being prescribed to be noncomplying development.</p> <p>The Dev Plan needs to allow educational establishments to meet new demands etc. by means of upgrades and enhancement of facilities, including expansion outside the current site boundaries and provide St Dominic's with confidence and certainty when planning for its future.</p> <p>With anticipated educational delivery changes there may be the need for additional facilities, such as a pre-school or an on-line centre.</p>	<p>Noted. The DPA provides clear recognition of the importance of St Dominic's Priory College to the education sector. The education establishment definition includes early childhood education through to high school education.</p> <p>The DPA recognises the long standing education use of St Dominic's and proposes increased development opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies and St Dominic's Priory College.</p>	<p>No change to DPA.</p>
		<p><u>Need for a specific zone</u></p>	<p>Noted. The purpose of the Conservation Zone is to ensure that the areas heritage values area not</p>	<p>Revise DPA in accordance with 'Additional Matters and</p>

	<p>The facilities required for contemporary learning are restricted by zoning that severely constrains redevelopment and regeneration.</p> <p>The NAHCZ is primarily a low density residential land use zone, with a heavy emphasis on historic character and preservation. The zone does not reflect the nature, function, role and future needs of St Dominic's. In addition, there is no reference to the school in the DFC for the Hill St PA1.</p> <p>Whilst the DPA acknowledges St Dominic's and provides opportunity for development, the DPA:</p> <ul style="list-style-type: none"> · leaves St Dominic's in the Hill Street Policy Area of the NAHCZ; · the NAHCZ continues to promote low density residential development and encourages the change in use from non-residential to residential development; · continues to contain provisions that constrain reasonable redevelopment opportunities. <p>The DPA provides an opportunity to develop a specific zone suited to St Dominic's or alternatively a separate St Dominic's PA should be established.</p> <p>If there is change to the existing zoning St Dominic's should be placed within a specific Zone e.g. a Community Zone, modelled on the Community Zone module from the State Planning Library.</p> <p>Alternatively, the Zone module could be modified to promote educational and community land uses, in addition to residential development as an alternative land use within the Zone. A Community Zone module would much more reasonably and equitably reflect the reality that it is not just housing that has been in existence for a long time, but also St Dominic's. Such zoning would better acknowledge those two longstanding existing uses to enable them both to co-exist comfortably with more balanced weighting.</p> <p>The zone or PA should include other land proximate to its existing site and placed in some form of specific institutional land use zoning.</p>	<p>diminished. Given the importance of the heritage values, the NAH(C)Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C)Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C)Z and respective Policy Areas.</p> <p>Site specific changes have been provided to site specific parameters. Refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value e and St Dominic's Priory College.</p>	<p>Investigations' paper.</p>
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	<p><u>Height controls</u></p> <p>Although the height controls are an improvement, they are prescriptive and limiting.</p> <p>There are buildings that exceed the 9 metre ceiling height. The chapel's northern gable measures 15 metres and the drama and music centre is 14.5 metres in height.</p> <p>There is a need for large flexible spaces which require significant structural and services elements built into the building fabric to meet current codes, the proposed height is too restrictive.</p> <p>To renovate 2 storey buildings and add an additional floor will push the height over 9 metres.</p> <p>Many buildings along the street exceed the max 2 storey/6 metre height limit, including the 2 storey classroom and science building along Hill St, the primary school along Barnard St and the Chapel to Molesworth St.</p> <p>Note, there is a conflicting nature of the lighter orange shading to concept plan along the very wide Hill Street where this level of lower height requirement has been pushed behind the elevated tennis court to the very high 2 storey State Heritage Place to the Barnard St Corner behind the existing local heritage place on the Molesworth St Corner and the recent double storey residence which adds further limitations to the campus.</p> <p>The 3 metre height, is a domestic height limitation and with the 45 degree setback restricts the College to single storey construction to a large portion of its perimeter. Many existing buildings exceed this height limitation.</p> <p>The height controls are confusing. The non-complying control requires two criteria to be contravened while the performance control contained in PDC 10 "requires" either the building levels control or the height control to be contravened before there is a departure from the Development Plan provisions.</p> <p>If height controls are retained there needs to be consistency so that PDC 10 reflects the wording of</p>	<p>Noted.</p> <p>The DPA proposes 3 building levels or building height up to 9 metres to the ceiling height, which may mean buildings may be taller in total height when consideration is taken into account for roofs. This will allow St Dominic's to develop in keeping with the existing built form which is greater than 9 metres to the ceiling height however would be no greater than 3 building levels. This does not include the roof form or lifts. Impacts would be assessed to reduce the impacts on areas such as residential amenity and historic context. This approach of using both levels of ceiling height is common throughout the NAH(C)Z which uses both building levels and ceiling height along with a range of other policy to determine a suitable building height. This provides flexibility to accommodate the range of building forms (from small cottages, larger mansions, institutional buildings) that make up the character of North Adelaide.</p> <p>It is considered that 3 storeys sited in the central areas of the site is appropriate in principle and no change is recommended.</p> <p>PDC 10 has been revised to reflect the non-complying trigger wording.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Dominic's Priory College.</p>	<p>Revise PDC 10 in PA1 of the DPA.</p>
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	the non-complying trigger i.e. both criteria need to be exceeded.		
	<p><u>Concept Plan</u></p> <p>The Concept Plan, in conjunction with PDC 10, is very prescriptive and seriously constrains St Dominic's redevelopment and regeneration opportunities. Within the SPA report headed "Perimeter Boundary line", "Important Facades", "Sensitive Heritage and Character Content", "Views and Vistas" and "Facade Articulation" there are multiple conflicts, limitations and inaccurate representations.</p> <p>It is strongly submitted that the proposed Concept Plan be removed from the DPA and replaced with equitable, performance based controls designed to enable the College to undertake reasonable redevelopment in the future while protecting existing residential areas from unreasonable impacts.</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept plans within the current Adelaide (City) Development Plan.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and North Adelaide's Acknowledged Heritage Value.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p>PDC 10 purports to oblige St Dominic's, to "... minimise the impact of vehicular access and student pick-up and drop off on residential amenity'. It is respectfully contended that this "requirement" is probably ultra vires/beyond power and in any event far too general, and weighted in favour of existing and proposed residential development in the general area.</p> <p>It is potentially ultra vires as any given development proposal for the St Dominic's land will not in any way relate to vehicular access and student pick-up and drop-off. In such a case, a Development Plan provision that "obliges" to minimize existing, unrelated activities (such as pick-up and drop-off) goes beyond power.</p> <p>In any case the "requirement" is unreasonable in that it puts the onus entirely on St Dominic's to</p>	<p>The Development Plan can only set standards to guide future new development.</p> <p>The DPA seeks to minimise the impact of added demand on residential amenity.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.

	<p>address any perceived impact on residential amenity when, of course, it must be acknowledged that St Dominic's has been operational on the site for over 130 years, with many of the residents within the surrounding areas probably having purchased their homes in the knowledge that the St Dominic's existed on its site (and before the introduction of planning controls) and that it can be expected to want to undertake reasonable redevelopment over time.</p> <p>Should be amended so that it is clear the drop off/pick up "requirement" only arises where related to the proposed development in question, and that in that scenario the proponent shall endeavour to minimise any unreasonable impacts on surrounding residential properties.</p>		
	<p><u>Site boundaries</u></p> <p>The site boundaries delineated in the Concept Plan and educational establishment type uses outside the site boundaries delineated in the Concept Plan are either non-complying or heavily discouraged, inhibit the schools development opportunities.</p> <p>The College sees any potential expansion beyond its current site as a necessity to aid the very nature of the existing tight campus, which has extreme limitations in the required usable and effective educational spaces and similarly, to provide enough quality green space to provide adequate external learning and play environments for its student's well-being".</p> <p>For redevelopment opportunities St Dominic's must be able to develop beyond its existing site boundaries. St Dominic's owns land outside of the delineated site boundaries and the College will acquire other land when future opportunities arise. The precise delineation of the appropriate St Dominic's specific zone or policy area boundaries should be, a matter for on-going discussion with the Council and the Minister before the DPA is authorised.</p> <p>The Development Plan should be amended to</p>	<p>Noted. The DPA recognises the long standing education use of St Dominic's and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies and St Dominic's Priory College.</p>	No change to DPA.

	<p>permit educational establishment type uses being developed on that land and certainly not being prescribed to be non-complying.</p>		
	<p><u>Plot ratio</u></p> <p>Plot ratio needs to be adjusted to the controls applicable to proposed development associated with St Dominic's. The adjustments need to be made to PDC 4 (a) of the Hill Street Policy Area and the relevant provisions in the non-complying development provision.</p> <p>Plot ratio is an instrument that is too blunt for the purpose of controlling and influencing development. It has little relevance to institutional/ educational sites where the built form character is different to traditional low scale housing development.</p> <p>St Dominic's, adjoining land and land proximate to St Dominic's should not have plot ratio controls. It should be replaced with merit based performance standards.</p>	<p>St Dominic's College has been exempt from the non-complying plot ratio requirements within its site boundaries and has been replaced with site specific policies and a Concept Plan that establishes a desired built and landscaped character.</p> <p>Revising the plot ratio requirements for the Hill Street Policy Area is outside the scope of the DPA.</p> <p>For further detail refer to 'Additional Matters and Investigations' paper on Economic Synergies.</p>	<p>No change to DPA.</p>
	<p><u>Non-complying triggers</u></p> <p>Certain kinds of "building work" involving a heritage place triggering non-complying classification needs to be reviewed. It is unclear whether it is meant in the current version of the DPA to total demolition of a State heritage place, local heritage place or portion of certain local heritage places amounting to what is non-complying development? Is it the total demolition of a State heritage place and the total demolition of a local heritage place? The present wording leaves it, open to argument that the total demolition trigger relates only to a State heritage place. It is recommended that the provision read <i>"total demolition of a State heritage place, total demolition of a local heritage place or total demolition of the portion of a local heritage place being the frontage"</i>.</p>	<p>The DPA maintains the current Development Plan policies around demolition of heritage places, including recent Ministerial section 29 amendments.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	<p>No change to DPA.</p>
	<p>The reference in the DPA non-complying list to "office" has the potential to create real confusion. Currently an "office" is non-complying in the NAHCZ</p>	<p>Agree. An office associated with student accommodation is an ancillary to the primary use of the college and is therefore considered</p>	<p>Revise non-complying list in the DPA.</p>

	<p>except, amongst other things, where in association with existing student accommodation on certain land, e.g. Lincoln College, Aquinas College and St Ann's College.</p> <p>An "office" associated with any one of those Colleges is not an office land use in its own right It would be an activity that is ancillary and thus an activity that is ancillary that takes on the character of the dominant use namely, the College itself (e.g. educational establishment). Thus, there is no need to contain a provision of the kind proposed in the DPA.</p>	<p>unnecessary.</p> <p>The DPA has been revised to delete reference to offices in association with the colleges from the non-complying list.</p>	
	<p>The present reference to "educational establishment being a non-complying trigger (in the DPA) contains as one of the exceptions; on land identified as St Dominic's on the Concept Plan. For all of the abovementioned reasons this non-complying trigger should ideally be removed altogether or, at least, modified so it does not result in educational establishment type proposals on land external to St Dominic's (but proximate to St Dominic's existing site) from being noncomplying.</p>	<p>As addressed in a previous point, allowing expansion beyond the boundary of the exiting site has implications on the residential character of the area.</p> <p>For a detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies and St Dominic's Priory College.</p>	No change to DPA.
	<p>The non-complying trigger applicable to car parking (except where ancillary to an approved or existing use) should be removed from the non-complying list. On the one hand it would seem that the Council, in the DPA, wants St Dominic's to deal with car parking issues such as pick-up and drop-off issues yet, on the other hand, is constraining St Dominic's from developing car parking external to its existing site. Of course, whether or not such a proposal should it ever be proposed, is or is not worthy of consent, is a different question. The potential should not be constrained by a non-complying classification.</p>	<p>Given the acknowledged heritage value and historic character of North Adelaide, a carpark external to its existing site is likely to diminish rather than enrich the character of the area. It is a form of development that is considered to be incompatible with the heritage value of the area and likely to impact on residential amenity. On this basis, no change is recommended.</p> <p>For a detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
	<p><u>Existing NAHCZ provisions</u></p> <p>The DPA does not address or amend many existing provisions of the NAHCZ and the Hill Street Policy Area.</p> <p>The provisions continue to potentially apply to the</p>	<p>The DPA has revised the DFC for Policy Area 1 to give the role and function of St Dominic's Priory College greater recognition.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's</p>	Revise PA1 DFC.

	<p>development of land in the future on the St Dominic's site including, NAHCZ PDCs 3, 4, 5 and 6. These provisions potentially add further constraints to St Dominic's to expand or redevelop.</p> <p>In the Hill Street Policy Area Desired Character provisions, there is no reference to St Dominic's in the specific provisions pertaining to Hill Street, Molesworth Street or Barnard Street, yet Objective 1 and PDC 1 for that Policy Area seeks that development should strengthen, achieve and be consistent with the Desired Character for the Policy Area.</p> <p>The Desired Character provisions have a heavy emphasis and weighting towards residential development.</p> <p>If the existing NAHCZ zoning is to remain there needs to be a major overall all of the NAHCZ provisions and the Hill Street Policy Area provisions. At the very least, provisions need to contain references to St Dominic's not just within its existing site boundaries but within reasonable proximity to those boundaries. There also needs to be appropriate exceptions to allow for reasonable development for educational establishment type uses that are not constrained by imperatives more appropriate to residential redevelopment.</p>	Acknowledged Heritage Value.	
	<p><u>Public notification</u></p> <p>The DPA should make all educational establishment related development on the St Dominic's site and all reasonably proximate nearby land category 1 development.</p> <p>All development proposals that are category 1 still need to demonstrate to the relevant planning authority that they are, when assessed against the Development Plan worthy of development plan consent.</p> <p>If the provisions of the Development Plan are amended, as contemplated by the DPA, to deal more specifically and appropriately with the existence (and continued development) of educational establishments such as St Dominic's,</p>	For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies	No change to DPA.

	there should be no need for public notification of specific development applications. The community, during the DPA consultation process, will have an opportunity to comment on the planning policies relating to St Dominic's.		
	<p><u>Council wide provisions</u></p> <p>The DPA does not amend the Council wide provisions of the existing Development Plan. The Council wide provisions should be amended to appropriately reflect the changes proposed to the NAHCZ and, in the case of St Dominic's, the Hill Street Policy Area.</p> <p>Failure to adjust the Council wide provisions will create further potential for conflict and tension between the Council wide provisions, particularly those that deal with Heritage and Conservation generally, Heritage and Conservation in North Adelaide, and Built Form and Townscape. It is not sufficient to adopt a view that there is no need to appropriately adjust those provisions because in the event of conflict the more specific provisions in the Policy Areas and the Zone will prevail.</p>	<p>The policy context of the institutions and colleges are dealt with in the proposed Policy Area provisions. The overarching provisions of the NAHCZ remain to strengthen the important focus of North Adelaide on its heritage and character. Considerable scope is made in the DPA for development potential within the Policy Areas, balanced with the need to respect the heritage and character settings and surroundings. On this basis it is not considered necessary or appropriate to revise the Council Wide provisions of the existing Development Plan.</p>	No change to DPA
	<p>Swanbury Penglase Response</p> <p><u>Concept Plan</u></p> <p>Confining college boundaries to existing boundaries restricts potential future expansion particularly to non-residential land uses which may be merit under the current plan.</p> <p>Any potential expansion is necessary to aid the existing very tight campus which is limited in providing educational spaces and enough green space.</p> <p>Important Facades as part of Fig. HS/2 being proposed has many inaccuracies that include a portion of existing non-heritage listed buildings, with some in poor condition and with some lines shown through existing building's Ridge Jines and Corridors, which are clearly not facades.</p> <p>Sensitive Heritage and Character Content - has a significantly limits any future development potential</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept plans within the current Adelaide (City) Development Plan.</p> <p>For detailed response, refer to 'Additional Matters</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.

	<p>to the College. The shaded area locks in many of the non-heritage portions of the existing buildings and insignificant buildings.</p> <p>Views and Vistas - Concept Plan attempts to connect a number of insignificant views. The level of visibility of the Chapel is considerably compromised from the majority of the views and vistas identified.</p>	<p>and Investigations' paper on Maintaining Residential Amenity and North Adelaide's Acknowledged Heritage Value.</p>	
	<p>Height limitations - 9 metres/3 storeys maximum for any future developments has a number of major concerns and contradictions. There are a number of existing building forms which exceed 9 metres, with the Chapel's northern gable measuring approx. 15 metres and the steeple measures approx. 20m plus. The Drama and Music Centre building is approx. 14.5 metres which matches the height to the existing southern Chapel expansion with its Archive Room on ground floor, and Offices and Stores on the two levels above. These buildings will require a lift to meet the DD Act which will exceed the height requirement.</p> <p>Proposed Principle 10b (lii) 2 building levels/ 6 metres In height – Many of the existing building fabric exceed this height limitation.</p> <p>Proposed Principle 10b (iv) Further Height Contradictions – This 3 metre height, is a domestic height limitation with the further required 45 degree setbacks for any levels above restricts the College to single storey construction to a large portion of its perimeter. This is a contradiction to the existing campus, where there currently exists many of its existing building fabric exceed this height limitation.</p>	<p>Noted. The DPA proposes 3 building levels or building height up to 9 metres to the ceiling height, which may mean buildings may be taller in total height when consideration is taken into account for roofs. This will allow St Dominic's to develop in keeping with the existing built form which is greater than 9 metres to the ceiling height however would be no greater than 3 building levels. This does not include the roof form or lifts. Impacts would be assessed to reduce the impacts on areas such as residential amenity and historic context. This approach of using both levels of ceiling height is common throughout the NAH(C)Z which uses both building levels and ceiling height along with a range of other policy to determine a suitable building height.</p> <p>It is considered that 3 storeys sited in the central areas of the site is appropriate in principle and no change is recommended.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Dominic's Priory College.</p>	<p>Revise PDC 10 in PA1 of the DPA.</p>
	<p>Proposed Principle 10b (v) Façade Articulation - this prescriptive detailed description integral to any future development may potentially be a reason to effectively reject any and all future developments that does not meet someone's view and or reference to this clause. It is should not be allowed in any way or form.</p>	<p>It is considered that façade articulation is an important element of building design. It provides visual interest and complements the existing built form.</p>	<p>No change to DPA.</p>
	<p>Proposed Principle 10c Traffic -This will be potentially yet another reason to effectively reject</p>	<p>The Development Plan can only set standards to</p>	<p>No change to DPA.</p>

		any and all future developments if does not exactly meet someone's particular view and reference to this clause. We, again believe it is should not be allowed to be accepted in any way or form.	guide future new development. The DPA seeks to minimise the impact of added demand on residential amenity. For further detail, refer to 'Additional Matters and Investigations' paper on Transport.	
32.	Brian & Maureen Arnott 36/103 Strangways Tce North Adelaide	<u>Calvary Hospital</u> The potential increase in the physical size of Calvary Hospital, parts of which may be allowed to reach five stories;	Site specific changes have been provided to site specific parameters. For detailed response, refer to 'Additional Matters and Investigations' paper on Calvary Hospital.	Revise DPA in accordance with 'Additional Matters and investigations' paper
		Concerned about the parking requirements for staff, tradespersons/contractors and visitors to the hospital; and the flow-on implications for reduced parking availability for visitors and tradespersons to our apartment block on the other corner of Hill St and Strangways Tce. The users of the North Adelaide Golf Course also compete for availability of parking spaces.	Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls. The DPA encourages the provision of basement parking. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		<u>St Dominic's Priory College</u> The potential increase in the physical size of St Dominic's Priory College;	Site specific changes have been provided to site specific parameters. For detailed response, refer to 'Additional Matters and Investigations' paper on St Dominic's Priory College.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Concerned about: <ul style="list-style-type: none"> the consequent increase in traffic, including heavy delivery vehicles, trades vehicles and their associated noise; increased student numbers will result in increased traffic congestion at school drop off and pick up times, both private vehicles and school buses; 	Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls. The Council Wide Development Plan policy on	No change to DPA.

		<ul style="list-style-type: none"> increased traffic will result in increased noise; parking requirements for staff, tradespersons/contractors and visitors to the college and flow-on implications for reduced parking availability for neighbouring properties. 	<p>parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
33.	St Ann's College (jointly made by St Dominic's Priory College, Lincoln College, St Mark's College, Aquinas College, Kathleen Lumley College)	<p>The current Development Plan substantially constrains their sites making regeneration and redevelopment difficult. Amendments are critical to enable planning for the future with more certainty and confidence. Significant restraints will remain if the DPA is authorised in its current form.</p>	<p>Site specific changes have been provided to site specific parameters. Refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	<p>Revise DPA in accordance with 'Additional Matters and investigations' paper.</p>
		<p><u>Constraints on land use</u></p> <p>The DPA in the case of St Ann's College, Lincoln College, St Mark's and Aquinas College reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and at odds with the Ministers request and fails to reflect existing activities and uses of the colleges. Activities such as academic tutoring, residential tutors and mentoring programs are critical activities. Should be revised to include student accommodation and educational activities.</p>	<p>Agree. The intent was to retain the existing land use i.e. <i>"be associated with student accommodation and educational uses."</i></p>	<p>Revise DPA.</p>
		<p><u>Proposed DPA controls</u></p> <p>The Concept Plans will constrain regeneration and redevelopment.</p> <p>The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and concept plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>

			<p>plans within the current Adelaide (City) Development Plan.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	
		<p>St Ann's, is a member of a dynamic and critical service sector within the SA economy and needs to adapt, respond to, and anticipate needs and trends quickly and efficiently.</p> <p>The current Development Plan substantially constrains regeneration and redevelopment opportunities for St Ann's.</p>	<p>Noted. Site specific changes have been provided to site specific parameters.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on St Ann's College.</p>
34.	Jamie Botten, Botten Levinson Lawyers on behalf of St Ann's College	<p><u>North Adelaide Historic (Conservation) Zone</u></p> <p>Most of St Ann's remains within the NAHCZ and the Stanley West Policy Area, with both areas continuing to be primarily for low density residential development;</p> <p>Although the DPA acknowledges St Ann's and endeavours to better provide opportunities for development at St Ann's, it leaves St Ann's in the Stanley West Policy Area of the NAHCZ which continues to promote primarily low density residential development. It attempts to better provide opportunities for development at St Ann's, however, continues to contain provisions that significantly constrain reasonable redevelopment opportunities.</p> <p>Should be together with other land proximate to its existing site, be placed in some form of specific institutional land use zoning similar to Institutional (St Andrews) Zone.</p> <p>Such zoning exists for institutional land use specific zoning, in relation to • Pembroke School, Walford Anglican School, Prince Alfred College, St Peters College and Adelaide University.</p> <p>As a fall back it should be in its entirety be included within the Mixed Use (Melbourne West) Zone or within a St Ann's specific policy area of the NAHCZ.</p> <p>If there is a change to existing zoning and St Ann's</p>	<p>The purpose of the Conservation Zone is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C)Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C)Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C)Z and respective Policy Areas.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' papers on North Adelaide's Acknowledged Heritage Value and St Ann's College.</p>	<p>No change to DPA.</p>

		<p>(and reasonable areas adjacent and beyond) is placed within a separate institutional land zone the zoning could, be modelled on the Community Zone module from within the State Planning Library. Alternatively, that zone module could be modified to promote not just educational and community land uses, but like the Burnside Council's Community Zone, residential development as an alternative land use within the Zone. A zone such as the Community Zone module reflect the reality that it is not just housing that has been in existence for a long time, but also St Ann's. Such zoning would acknowledge those two long-standing existing uses and enable them both to co-exist comfortably, with more balanced weighting.</p>		
		<p><u>Height</u></p> <p>Although the height controls applicable to St Ann's are an improvement over the existing Development Plan provisions, they remain prescriptive and limiting and are not performance based provisions.</p> <p>The height controls are confusing as on one hand the relevant non-complying trigger requires both the prescribed number of building levels and the height to ceiling level above the median natural or finished ground level to be contravened to trigger the non-complying classification, but on the other hand, the height control references in PDC 8 refer to "new buildings up to 4 building levels or 12 metres. The non-complying control requires the two criteria to be contravened whereas the performance control contained in PDC 11 "requires" either the building levels control or the height control to be contravened before there is a departure from the Development Plan provisions.</p> <p>The inconsistency should be resolved such that PDC 8 at least reflects the non-complying wording trigger.</p> <p>Question whether a ceiling height of 12 metres above median natural or finished ground level is a realistic height for 4 levels suitable for a functional, educational establishment comprising student accommodation levels and student common</p>	<p>Noted.</p> <p>PDC 8 has been revised to reflect the non-complying trigger wording.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on St Ann's College.</p>

	<p>facilities such as libraries, tutorial, performance, common and dining rooms and study areas. These larger common rooms obviously require proportionally higher ceiling heights.</p> <p>The expert advice from TMM to St Ann's is that 4 College building levels require a maximum ceiling height of at least 16 metres plus.</p>		
	<p><u>Concept Plan and PDC 8</u></p> <p>Although the DPA delivers some gains in terms of building height, those gains are significantly constrained by the "requirements" of the Concept Plan Fig SW/1 and proposed PDC (PDC) 8 of the Stanley West Policy Area provisions.</p> <p>The DPA's is prescriptive, as opposed to performance based. The concept plan and associated DPA provisions should be removed and replaced with appropriate performance based provisions, designed to enable St Ann's to regenerate and redevelop in an appropriately permissive manner, with regard to legitimate amenity considerations.</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept plans within the current Adelaide (City) Development Plan.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>
	<p><i>Area A – Rose Garden</i></p> <p>The area known as the "Rose Garden" and Tennis Court are not options for development by St Ann's. The Rose Garden and Tennis Court form an important part of activities and context for the operations of St Ann's. The spaces provide a:</p> <ul style="list-style-type: none"> • range of recreational opportunities and • tree filled attractive garden for the positive benefit of all students. 	<p>In reference to the Rose Garden, the DPA proposed to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham Place setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the rose garden has limited heritage significance.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and St Ann's College.</p>	<p>No change to DPA</p>
	<p><i>Area B (Mixed Use (Melbourne West) Zone)</i></p> <p>The 2 storey Dame Roma Mitchell Building on Melbourne St does not, because of its design,</p>	<p>Noted. The viability of redevelopment of the site would occur in the longer term.</p> <p>PDC 8's requirement would not apply to the eastern</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>

		readily permit the construction of additional levels and would be restricted on the eastern boundary by the proposed PDC 8's requirement to step back at a 45° angle from a height of 3 metres on the boundary. No such limitation applies to the adjoining property.	boundary given that Dame Roma Mitchell Building is in the Mixed Use Zone. The Mixed Use Zone provisions would continue to apply to the land situated within this zone. The Concept Plan has been revised to clarify its application to the relevant zone. For further detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.	
		<i>Area C :</i> The logistics and structural limitations of the Mayo Building prohibit the potential for the construction of additional building levels.	Noted. The viability of redevelopment of the site would occur in the longer term. The Concept Plan has been revised to clarify its application to the relevant zone.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<i>Area D :</i> The Symon, Ann Wood and Barnes buildings are 3 to 4 building levels. These buildings are located within the area designated on the Concept Plan as "taller built-form". Any future four building level proposal does no more than preserve the status quo. This area is also restricted by the step back at 45° from a height of 3 metres on the eastern and northern boundaries. No such limitation applies to adjoining properties. Another limitation is the Concept Plan "enshrining" the right of maintaining views angled across the St Ann's property for a few houses located on the upper level of Brougham Place. A large portion of Area "D" on the eastern boundary is designated "low scale built form"- a vague term lacking any definition	The Concept Plan has been revised to identify what scale is and where development is envisaged The DPA does not propose to changes the existing Desired Character Statement of the Stanley West Policy Area 10 which seeks to protect the views of the City from Stanley street and Brougham Place properties. For further detail, refer to Additional Investigations paper on St Ann's College.	
		<i>Area E :</i> Area E is located in the centre of the St Ann's site and designated as a "low scale built form" area, in direct contradiction to the general thrust of the DPA that seeks the concentration of taller built form in the centre of St Ann's site. The terminology "low scale built form" is vague and not precisely defined in the Development Plan.	The Concept Plan has been revised to incorporate this area as taller built form up to 4 building levels. For further detail, refer to Additional Investigations paper on St Ann's College.	Revise Concept Plan.

	<p>Further, the "zone" is surrounded on three sides by a four storey proposed "zone" and the Wilcox Building on the western side is a three storey building with a high pitched roof. Essentially, this "low scale built form" area represents a "little pocket" that is isolated and lacking in rationale.</p> <p>The areas marked in red are the only "greenfield" sites available and are the only locations suitable for taller built form but could be subject to potential objections because of contentions regarding reduction of views from the north-east. It should be noted that St Ann's are currently preparing construction documentation for an approved two-storey development on part of area "E" and the "red" area next to Mayo;</p>		
	<p>The Concept Plan designates "views and vistas" from Brougham Gardens on the western side of Brougham PI. These views look fine on a plan, but TMM advise that the reality is at street level St Ann's and its facade is hidden behind a high red brick fence and vegetation, which the Concept Plan designates as "Important Facades on Site" and "Sensitive Heritage and Character Context".</p> <p>The protection of the "Views and Vistas" from Upper Brougham PI located north-east of St Ann's angled across St Ann's property have been "enshrined" on the Concept Plan. This is unreasonable given the restrictive impact the "requirement" has on future design development. Even a four level proposal as an otherwise envisaged development will be potentially subject to protection of these views. TMM advise that the traditional approach to design is to attempt, within reason, to preserve views square to the property line and not angled across other properties. The few houses in question have views of the eastern suburbs and the Adelaide Hills square to their property line.</p>	<p>The Concept Plan has been revised to identify where development is envisaged rather than identify matters for consideration.</p> <p>For further detail, refer to Additional Investigations paper on Maintaining Residential Amenity and St Ann's College.</p>	Revise Concept Plan.
	<p>PDC8 for the Stanley West Policy Area contemplates future development work at St Ann's, and "directs" additional vehicle movements from Old St be avoided, and additional on-site parking be</p>	<p>PDC 8 has been revised with the intent of minimising the impact of vehicle movement on residential amenity, the PDC does not preclude access from Old Street.</p>	Revise PDC 8 in the DPA.

		located at basement level. Vehicle access from Brougham PI and Melbourne St is limited to existing access.	For further detail in regard to basement parking, refer to 'Additional Matters and Investigations' paper on Transport.	
		<p><u>Land Use</u></p> <p>Opposes PDC 8 that limits development of St Ann's to student accommodation. It does not reflect existing activities and uses and precludes education based additional services and facilities.</p> <p>PDC 8 should be amended so that St Ann's should be associated with student accommodation and educational activities.</p>	<p>Agree. The intent was to retain the existing land use i.e. <i>"be associated with student accommodation and educational uses."</i></p>	Revise DPA.
		<p><u>Site Boundaries</u></p> <p>The Concept Plan and the existing NAHCZ restrictions on student accommodation/ educational establishment type uses beyond the delineated site boundaries significantly constrains future development opportunities.</p> <p>St Ann's should be in a separate institutional zone or in a St Ann's specific policy area, with the area being more expansive than the external site boundaries presently delineated in the Concept Plan.</p> <p>St Ann's must be given an opportunity to develop beyond its existing site boundaries.</p> <p>The precise delineation of the boundaries should, be a matter for on-going discussion with the Council and the Minister before the DPA is authorised.</p> <p>As an alternative, the provisions applicable to land external to the existing site boundaries should be amended to contemplate student accommodation/educational type uses, and not prescribed as non-complying or discouraged by planning policies.</p> <p>If there is a change to existing zoning and St Ann's (and reasonable areas adjacent and beyond) is placed within a separate institutional land zone the zoning could, be modelled on the Community Zone module from within the State Planning Library.</p> <p>Alternatively, that zone module could be modified to</p>	<p>Noted. The DPA recognises the long standing education use of St Ann's College and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.

		promote not just educational and community land uses, but like the Burnside Council's Community Zone, residential development as an alternative land use within the Zone. A zone such as the Community Zone module reflect the reality that it is not just housing that has been inexistence for a long time, but also St Ann's. Such zoning would acknowledge those two long-standing existing uses and enable them both to co-exist comfortably, with more balanced weighting.		
35.	Tracey Carlisle-Smith	Objects to the DPA. The City scape will be irrevocably changed for the worst.	Noted. The purpose of the Historic Conservation Zone is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C)Z is necessary. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors whilst ensuring the heritage values of the locality are not diminished. For detailed response, refer to 'Additional Matters and Investigations' paper on Economic Synergies and North Adelaide's Acknowledged Heritage Value.	No change to DPA.
		Buildings designed by colleges are on the cheap and less well designed which will have a negative impact on the streetscape of the heritage area.	"As Above"	No change to DPA.
		Students are noisy.	Noted, refer to 'Additional Matters and Investigations' paper on Residential Amenity.	No change to DPA.
		The proposed height of buildings is too high and jars with many existing heritage listed buildings. Views will be lost to existing residents, devaluing their property prices.	Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on the Archer West Policy Area 13.	Revise DPA in accordance with the 'Additional Matters and Investigations' paper on the Archer West Policy Area 13.
		Parking is already an issue in North Adelaide. An increase in traffic will be a concern in lanes and roads near colleges and Archer St.	Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking	No change to DPA.

			<p>shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer 'Additional Matters and Investigations' paper on Transport.</p>	
		Historical buildings will be swamped by large overpowering 6 storey buildings.	Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	No change to DPA.
36.	George and Nita Balaes 51 Molesworth St North Adelaide	<p>Concerned the removal of key controls such as plot ratio can lead to unexpected outcomes. E.g. Melbourne removed plot ratio with unforeseen and unwanted consequences. They are now looking at re-introducing plot ratio.</p> <p>Together this provides no certainty and could lead to opportunistic development proposals to the detriment of residents and the heritage character of the area.</p>	<p>Design quality is required from Development. The DPA proposes other policies to guide density and built form. While plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
		Concerned about the proposed heights allowed for the Calvary Hospital and Helping Hand Aged Care. Oppose development greater than 3 storeys'.	Noted. For detailed response, refer to 'Additional Matters and Investigations' papers on the Calvary Hospital and Helping Hand Aged Care.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Concerned about car parking as it is not clear it will be a definitive requirement. New development <u>should</u> provide on-site car parking to cater for increased demand should be amended to <u>must</u> .	Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.	No change to DPA.

			<p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
37.	Anthony & Joan Thomas	<p>For healthy communities it is important community residents have a strong influence over development.</p> <p>The solution is to involve the local community in the development of planning laws and then stick to them and not allow non-conforming developments.</p>	<p>The DPA has provided the opportunity for the community to make comments on this DPA and has informed Council and setting future planning policy.</p> <p>At the time of development applications, adjacent neighbours will continue to have the opportunity to comment as Category 2 and for proposals outside the envisaged land use and building height as Category 3 non-complying meaning appeal rights for neighbours.</p>	No change to DPA.
		<p><u>St Ann's College:</u></p> <p>Concerned about increased traffic on roads and footpaths and an increased demand on limited car parks in the area. Car parking is already at a premium due to usage from attendees and staff at the local hospitals.</p>	<p>Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
38.	Ian and Andrea Renton 303 Melbourne St North Adelaide	<p><u>St Ann's College</u></p> <p>Loss of any concept of the value of 'grounds' green areas. Abolition of plot ratio - existing trees can be removed and replaced with concrete and glass.</p>	<p>The DPA proposed to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham Place setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place</p>	No change to DPA.

	<p>Loss of the 'garden gateway' to Melbourne Street.</p>	<p>Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance.</p> <p>The DPA retains the 50 percent Landscape Open Space requirement and proposes other policies to guide density and built form. While plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and Fostering Economic Synergies.</p>	
	<p>No adequate supervision of students out of office hours. Students are transient and have no allegiance to the area or respect for residents. There is a constant party culture from students.</p>	<p>Noted. Policy is provided to seek additional activity areas to be designed or located to minimise noise and disturbance to existing residences.</p> <p>Refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	<p>Revise DPA to refine policy.</p>
	<p>Enjoy the view of the Brougham Place Uniting Church Spire, which will be obscured by any high rise development.</p>	<p>The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This will enable the retention of key public realm views to Brougham Place Uniting Church.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	<p>No change to DPA.</p>
	<p>Loss of sunlight pending the position and height of any building opposite our heritage home.</p>	<p>Residential Amenity is paramount to ensuring development is sensitive and complementary.</p> <p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential</p>	<p>No change to DPA</p>

			Amenity.	
		Limiting development to a student population – students do not always have a disposable income and do not contribute to shops and cafes in the area.	Noted.	No change to DPA.
39.	Roger Godwin & Jodie Maxwell 311 Ward St North Adelaide	<p>Do not support the DPA.</p> <p>North Adelaide's heritage and future historic value should not be tainted by this Proposal. Care should be taken to ensure the heritage and intrinsic value of North Adelaide to Adelaide City and the broader SA community is not be tainted by politics or development interests.</p> <p>There is a mixed and vibrant community attracted to the important historic of North Adelaide.</p>	<p>Noted and agreed.</p> <p>All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
		Concerned about the plan views and streetscape perspectives supplied as part of the consultation	The consultation process exceeded the statutory requirements in order to provide assistance for	No change to DPA.


		process.	<p>people to have time and understand the DPA.</p> <p>It is noted, the DPA is planning policy exercise rather than a development application.</p> <p>Perspectives supplied during consultation were developed using 3 D model technology to ensure the scaling and perspectives were correct. Videos and 3-D models were also provided during consultation. Council staff were available to discuss any aspect of the policy proposals. Many stakeholders took this opportunity to assist in their submissions.</p>	
		<p><u>Calvary Hospital:</u></p> <p>Objects to further development of Calvary Hospital. Neighbours will suffer should the DPA go ahead. We are located opposite the hospital and do not trust the provisional streetscape perspective supplied. It could end up as anything!</p>	<p>Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on Calvary Hospital.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper on the Calvary Hospital.</p>
		<p>Contractor noise is very disturbing. There are rules about start times but these are never adhered to and what's more, no public office enforces them. The scope of the development indicated could account for another 2 years of this kind of activity.</p>	<p>This DPA sets the policy framework for the long term but does not identify when future development occurs.</p> <p>Contractor noise and timeframes for construction are challenging. The EPA has guidelines aim to limit hours of construction noise and the impacts during construction.</p>	<p>No change to DPA.</p>
		<p>Any further development of Calvary without significant planning around traffic, parking and access is unacceptable. There are already high demands on short and long term parking needs for golfers, Hospital staff and visitors, Hospice staff and visitors, residents and their visitors along with the constraints of Event parking.</p>	<p>Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking for visitors and staff as well as designing parking areas to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p>	<p>No change to DPA.</p>

			For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	
40.	David Hutchison, Access Planning on behalf of Helping Hand	<p><u>Helping Hand Aged Care</u> have been providing aged care services in North Adelaide since 1953 and is the only provider of Aged Care accommodation in the City of Adelaide.</p> <p>Over the next 25 years, the number of Australians aged over 65 years will double. There will be more older people living, working and visiting Adelaide than ever before which will significantly increasing demand for the services provided by Helping Hand and other aged housing organisations that may seek to provide aged accommodation and related services in the City.</p> <p>The Development Plan provides clear recognition of the importance of Helping Hand and an opportunity for Helping Hand provide additional and varied forms of aged housing and care in the City.</p>	Noted. For detailed response, refer Additional Matters and Investigations' paper on Helping Hand Aged Care.	Revise DPA in accordance with Additional Matters and Investigations' paper on Helping Hand Aged Care.
		<p><u>Nursing Home - Non-complying:</u> Remove 'Nursing Home' from the list of non-complying land uses in the NAHCZ – which would limit this type of accommodation only to the land now occupied by Helping Hand (as identified on Figure HS/3).</p>	<p>While aged care is important, a nursing home is not what would be typically desired in a residential zone due to its impact in terms of increased traffic and parking. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA
		<p><u>Office - Non-Complying:</u> Include Helping Hand in the list of exceptions applying to Office development as a non-complying form of development in the zone. Office and administrative functions are an integral part of the services provided by Helping Hand. An office development in association with the aged care services provided by Helping Hand could readily be accommodated within the locality of the present Helping Hand site without having an undue impact on the character, amenity of heritage qualities of the area.</p>	<p>An office that is associated with the Helping Hand Aged Care site is considered be ancillary to the main use and therefore does not require to be exempted from the non-complying list.</p> <p>An office outside the boundaries of the site is not what is generally expected in a residential zone as it is likely to impact on the surrounding residential amenity. On this basis, no change to DPA is recommended.</p>	No change to DPA.

	<p>Building Height - Non-Complying Trigger: Amend principle 25(d) of the non-complying provisions at Zone to delete part (i) (c) which seek to impose a building height of not more than 4 storeys and 12m on buildings on the Helping Hand site.</p> <p>Support the additional height.</p> <p>Do not support the non-complying trigger for building heights of over 3 levels and more than 12 metres.</p> <p>The more detailed policy area provisions refer to buildings up to 4 storeys or 12 metres in height. If a trigger for non-complying status is to be applied, and 12m in building height is the defining guideline, then references to storeys as a building height limit is superfluous.</p> <p>The non-complying trigger fails to recognise the variety of design and siting options that can minimise the impacts of multi storey buildings.</p> <p>The DPA contains a series of specific design guidelines at PA1 (PDC 11), which seek to new multi storey development on the Helping Hand site to be integrated into the streetscape whilst respecting the low level historic character of the locality.</p> <p>In conjunction with existing CW policies, there are numerous design controls and performance measures to ensure the scale, streetscape, visual and environmental impacts of development are compatible with the locality, without the need for applying a definitive cap on building height.</p> <p>Design considerations such as building articulation, and stepping the building progressively back from a boundary can be adopted in the design of development in such a way that the upper levels of a building are not readily visible from the street or immediate locality, whilst building articulation on both a horizontal and vertical plane can be equally if not more valuable than simple setback provisions in minimising building mass and visual impact.</p> <p>There are ample design guidelines in the Development Plan to ensure that the impact of multi</p>	<p>The height of buildings is an important part of the character of the North Adelaide Historic (Conservation) Zone. Removing the non-complying trigger could risk the heritage and tourism value of North Adelaide. Therefore development greater than the anticipated should be non-complying.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
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		storey development on the Helping Hand site is compatible with and will have minimal environmental impacts on adjoining development. With the additional design controls proposed, and the possibility that alternative design solutions may achieve as a good or a better outcome, there is no requirement for a specific cap on building height.		
41.	Spyro Bouras 157 Jeffcott St North Adelaide	<p>Comments specific to <u>Helping Hand</u></p> <ul style="list-style-type: none"> On-street parking issues already exist, there are insufficient spaces and poor policing of time zones in the area Public using all day parks and taking buses to the city Poor condition of parking spaces on Jeffcott St Planning and design must take into consideration increased traffic flow and demand for existing parking spaces. Development must include self-funded on-site parking 	<p>Noted. The Development Plan policy requires development to manage their transport impact. In terms of the wording “must”, the Development Plan is not written in that way. It is guideline document rather than a contract or statute. The language is in accordance with the State Planning Policy Library. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to ‘Additional Matters and Investigations’ paper on Transport and Helping Hand Aged Care.</p>	No change to DPA.
		The issue of noise needs to be addressed.	Noted, refer to ‘Additional Matters and Investigations’ paper on Residential Amenity.	No change to DPA.
		<p><u>Lincoln College</u> generally support the intent of the DPA. However a number of policy modifications are sought in order to provide both clarity in policy outcomes whilst ensuring certain policies do not curtail flexibility.</p> <p>Buildings fronting Ward St do not positively contribute to the streetscape. For building replacement, policies need to enable viable redevelopment. Due to asbestos in one building demolition costs will be significant. Unless an appropriate yield and return is possible the building is likely to be retained and re-used which will not improve the streetscape</p>	<p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to ‘Additional Matters and Investigations’ paper on Lincoln College.</p>	Revise in accordance with Additional Matters and Investigations’ paper

42.	Michael Osborn, Fyfe on behalf of Lincoln College	<p><u>Desired Character</u></p> <p>The desired character for the Policy Area has a clear focus on protecting the existing historic character of the area. Although the buildings fronting Ward St do not represent the broader character of the street Lincoln College supports the intent of improving the streetscape quality.</p>	Noted.	No change to DPA.
		<p><u>Land-Use:</u></p> <p>The strong policy focus on student accommodation provides little opportunity to establish alternative uses, should student accommodation no longer prove viable. To this end, the list of non-complying uses is in our opinion too exhaustive and provides insufficient flexibility;</p> <p>Suggest that an educational establishment and a serviced apartment be excluded from the list of non-complying development to assist facilitating development which could support the removal of the buildings fronting Ward St.</p> <p>No change is proposed to PDC 2 of PA7, which discourages row dwellings. Unclear about the purpose of this policy and why this form of development could not be considered in this location.</p>	<p>Agree. The intent was to retain the existing land use i.e. <i>"be associated with student accommodation and educational uses."</i></p> <p>In regard to exempting serviced apartments from the non-complying list, the DPA is about supporting the health and education sector, not residential infill. On this basis no change is recommended.</p>	Revise DPA.

	<p>Figure 3: Fig LF/1 Lincoln College Concept Plan</p>  <p>Concept Plan</p> <p>The delineation of 'low scale built form to respond to context' and 'taller built form' does not support an economic redevelopment of the site, which already has a taller built form element built to Ward St.</p> <p>Reference to 'low scale' and 'taller built form' also raises issue should be clearly defined and not be ambiguous.</p> <p>The Concept Plan identifies the southern part of the site as a sensitive area due to the historic and heritage context. Notwithstanding the necessity to ensure the conservation and setting of heritage places, policies should enable the provision of new buildings fronting Brougham PI, subject to siting and design considerations.</p> <p>With appropriate siting and design, development could occur without detracting from the State</p>	<p>Concept Plans are considered useful and necessary. It is recommended the style of the Concept Plan is amended to identify where development is envisaged rather than identify matters for consideration.</p> <p>The visual prominence and views from Brougham PI of the State Heritage place on the corner of Margaret St and Brougham PI is important. The building is important as it forms part of the dress circle to the Park Lands.</p> <p>As illustrated in the Concept Plan there is an opportunity for infill development towards the side rear of the building whilst retaining the space and views to the building. No change to the concept plan is recommended in regard to development to the immediate side of the State Heritage Place.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
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	<p>heritage places.</p> <p>Should Council agree to envisage new development fronting Brougham Pl, amendments should be made to section (b) of the Desired Character for the Policy Area.</p>		
	<p><u>Height</u></p> <p>Supports the anticipation of buildings up to 6 levels or 18 metres in height.</p> <p>Building height should not be a trigger for non-complying development, it is inflexible, and provides unnecessary processing hurdles in circumstances where a greater building height may be appropriate.</p> <p>A 10-storey residential building exists to the west. Further buildings up to 22 metres in height are anticipated. An orderly transition to future development to the west could therefore be more than 6 storey's or 18 metres.</p> <p>Based on the above, Principle 25 (d) (v) should be removed.</p>	<p>One of the important elements of heritage value in North Adelaide is its scale. The height of buildings is an important part of the character of the North Adelaide Historic Conservation) Zone.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>Removing the non-complying trigger could risk the heritage and tourism value of North Adelaide. Therefore development greater than the anticipated should remain non-complying.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p> <p>The 10 storey building to the west is in a different Zone. There is a need for Lincoln College to respect the existing scale of Brougham Place and Ward Street and provide a transition to lower scale historic pattern of development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
	<p><u>Landscaped Open Space</u></p> <p>PDC 7 seeks 50 percent of landscaped open space. This is not consistent with existing development and would inhibit redevelopment potential of Lincoln College, which does not represent a traditional form residential development. Suggest that Principle 7 be excluded for application in respect to Lincoln College.</p>	<p>Landscaped open space is a guiding principle. It is important for each site to have a private provision of open space to assist in providing a break between each building as well as the requirement of introducing smaller buildings footprints.</p>	No change to DPA.
	<p><u>Site Boundaries</u></p> <p>The DPA expresses the intent to allow colleges to</p>	<p>Student accommodation is merit within the Zone. This currently allows expansion beyond the site</p>	No change to DPA.

		expand beyond their existing boundaries (Page 17 of the Analysis). It is unclear how such outcomes have been facilitated through policy.	<p>boundaries.</p> <p>The DPA recognises this is not always feasible or desired due to the loss of historic residential housing. The DPA changes only apply to the site. This allows development opportunity within existing site boundaries. While expansion on adjoining sites would continue to be merit no additional development capacity applies to adjoining sites.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Economic Synergies</p>	
43.	John Robb & Kjell Genborg 227 Brougham Place North Adelaide	Concerned about colleges and institutions increasing the density and built form on the Historic (Conservation) Zone area described as a 'unique state asset'.	<p>The Historic (Conservation) Zone seeks to ensure that the heritage values of North Adelaide are not diminished.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors whilst ensuring the heritage values of the locality are not diminished.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA
		The DPA does not consider needs and desires of residents and businesses. Policy changes need to be fair to those who live in the area.	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters</p>	No change to DPA

			and Investigations' paper.	
		North Adelaide will exceed the tipping point between long term residency and transient student populations.	"As Above"	No change to DPA
		Imperative residential amenity is not disregarded and that sunlight into single storey cottages and houses and their gardens is protected and not completely cut out by the 4-6 storey buildings.	Noted. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Overlooking, overshadowing and noise attenuation policies will continue be applied. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	No change to DPA.
		Building height limitations must include ancillary equipment, sloping roof and lift wells.	The measure of height in the Historic (Conservation) Zone is taken from upper ceiling level. To introduce a different measure for specific sites in the zone would be confusing and inconsistent. In addition to quantitative measures, streetscape policies guide impact of new development on the locality.	No change to DPA.
		Careful attention and retention of acceptable setbacks e.g. Westpac bank building on King William St.	Agree. The provisions in the DPA and the specific Concept Plans for each site achieve such considerations.	No change to DPA.
		Materials / finishes must be sympathetic to the heritage buildings to maintain the ambience and significance of the historic conservation zone.	Agree. The policies of the Historic (Conservation) Zone continue to apply to material and finishes of new development.	No change to DPA.
		Green spaces and established trees must be protected to maintain the balance between gardens, trees and buildings.	Agree. To complement the existing pattern of development, the Development Plan policy will require landscaped open space to be provided. This will deliver a number of benefits including screening, habitat, landscape qualities and reduce urban heat island effect as well as provide space between buildings.	No change to DPA.

		<p>The size and potential impact of possible developments on the Lutheran site on the residents in Archer St. It is imperative that Archer St residents maintain their sunlight and green spaces and it does not become an alley dwarfed on all sides</p>	<p>Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Archer west policy Area 13.</p>	No change to DPA
		<p>Consideration must be given to traffic movement management, including access and egress issues of delivery and waste removal vehicles. It is unsafe and unacceptable to increase the traffic to St Ann's along the very narrow Old St which is a residential street.</p> <p>On-site parking must considered carefully with any increase in student housing to maintain residential amenity and reduce the pressure on parking on our residential streets.</p>	<p>Noted. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
44.	Vyla Ellis 13 Murray Street North Adelaide	<p>In support of the DPA. The institutions and colleges are an important part of the community. The education and health sectors will continue to grow and this brings the opportunity to make the most of the economic possibilities.</p> <p>They must be given the opportunity to expand their facilities in a way sensitive to the area.</p> <p>Believes the DPA strikes the right balance between maintaining the heritage aspects of these facilities whilst providing must needed opportunity for development.</p>	Noted.	No change to DPA
45.	David Fox 73 Mills Terrace North Adelaide	<p><u>St Dominic's College:</u></p> <p>Currently adversely affected by traffic associated with St Dominic's.</p> <p>A large percentage of children are dropped and</p>	<p>Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land</p>	<p>No change to DPA.</p> <p>Refer to matter to Traffic Management to review.</p>

		<p>collected by parents in motor vehicles. Parents have no regard for parking restrictions. Buses double rank on a daily basis. St Dominic's provides not one carpark. The parking is a result of being able to expand without providing car parking</p> <p>Staff park all day in either Molesworth St or Barnard St, but predominantly in Molesworth St and occupy areas which should be used for limited drop off and pick up zones between the hours of 8 - 9 AM and 3:30 - 6:00 PM.</p> <p>Molesworth street to the east of Hill St has a 3hr parking limit from 8:00am to 6:00pm. Barnard St east of Hill St has a 3hr parking limit from 8:00am to 5:30pm. The parking limits should be extended for the length of the Molesworth St and Barnard St to west of Hill St down to Mills Tce and should be introduced for both sides of Mills Tce between Barnard St and Buxton St. The parking restriction would free up kerb side parking which could be rezoned for Passenger Loading only at Drop off and pick up times and greatly improve the safety of the children.</p> <p>If St Dominic's expands they should provide adequate on-site parking for all staff and students. Alternatives for St Dominic's includes:</p> <ul style="list-style-type: none"> · Parking along Memorial Dr · Negotiate off-street parking with St Lawrence's Church · St Dominic's prepare a long term plan consider splitting its campus and relocating or collocating part of the school in another area. 	<p>owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours</p> <p>Part of the challenge for St Dominic's College is the ability to hold all classes within the school due to the existing Development Plan controls which limit most development. The DPA allows additional development opportunity to provide better facilities on site. This may alleviate student needs to drive and park within the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p> <p>The suggestions will be referred to Traffic Management to review.</p>	
		<p><u>Calvary Hospital</u></p> <p>Staff from Calvary Hospital also put pressure on the limited availability of parking and is another institution allowed to expand without parking.</p>	"As Above"	No change to DPA.
46.	Louise Rigoni 24 Brougham Place North Adelaide	<p><u>Lincoln College</u></p> <p>Heights on the Ward St and Margaret St junction will have significant overlooking, shadowing, noise and traffic issues on heritage listed St Margarets.</p>	Noted. Lincoln College has existing buildings up to 4 storeys to Ward St. Adjoining the site to the west; development is envisaged up to 6 storeys. Post consultation, the DPA proposes up to 6 storeys	Amend building height of Lincoln College.

	<p>Allowing development on boundaries on St Margarets and other similar residences demolishes the nature of these culturally and heritage significant residences.</p> <p>Would like setbacks, buildings heights including ancillary equipment, sloping roof, lift wells to be considered and reevaluate.</p>	<p>however transitioning down in height to 3 storeys. It is considered that the DPA offers significant benefits to Ward St as the current building offers little to streetscape and Conservation Zone.</p> <p>Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining residential Amenity and Lincoln College.</p>	
	<p>Would like Council to reevaluate plot ratio.</p>	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.
	<p>Would like Council to reevaluate the following:</p> <ul style="list-style-type: none"> · traffic movement in Margaret St between Brougham PI and Ward St. · on-site and on-street parking as there is already a severe shortage. · noise from trucks and students. · access and egress of delivery vehicles and waste removal. 	<p>Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours</p>	No change to DPA.

			<p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
		<p>Why is the expansion of colleges needed? Why is there special policy for large institutions? Why not consider expansion of ambience of the area by protection of open spaces, heritage heights and ambience and restrict large development to O'Connell St.?</p>	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
		<p>Would like Council to reevaluate the effect on historical zone/buildings.</p>	<p>The DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views.</p> <p>The North Adelaide Historic (Conservation) Zone will remain to ensure that the distinct heritage values are not diminished. In accordance with the guiding principles, the DPA is intended to reinforce the heritage values.</p> <p>For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
		<p>Ensure retention of Lutheran sandstone and red brick library.</p>	Noted	
		<p>Ensure retention of Chapel at St Mark's.</p>	Noted	

		Ensure retention of limestone, bluestone and red brick fence around Aquinas.	The fences at Aquinas of heritage value are Local Heritage listed. The DPA does not change this status.	No change to DPA.
		Retention of historic garden embankment of St Ann's is crucial to the gateway of Melbourne St.	The DPA proposes to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham PI setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	No change to DPA
47.	Venetia Rigoni 45 Ward Street North Adelaide	<p><u>Lincoln College</u></p> <p>Heights on the Ward St and Margaret St junction will have significant overlooking, shadowing, noise and traffic issues on heritage listed St Margarets. Allowing development on boundaries on St Margarets and other similar residences demolishes the nature of these culturally and heritage significant residences.</p> <p>Would like setbacks, buildings heights including ancillary equipment, sloping roof, lift wells to be considered and reevaluate</p>	<p>Noted. Lincoln College has existing buildings up to 4 storeys to Ward St. Adjoining the site to the west, development is envisaged up to 6 storeys. The DPA proposes up to 6 storeys however transitioning down in height to 3 storeys. It is considered that the DPA offers significant benefits to Ward St as the current building offers little to streetscape and Conservation Zone.</p> <p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining residential Amenity and Lincoln College.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Lincoln College.

		Would like Council to reevaluate plot ratio.	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.
		<p>Would like Council to reevaluate the following:</p> <ul style="list-style-type: none"> · traffic movement in Margaret St between Brougham PI and Ward St. · on-site and on-street parking as there is already a severe shortage. · noise from trucks and students. · access and egress of delivery vehicles and waste removal. 	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
		Why is the expansion of colleges needed? Why is there special policy for large institutions? Why not consider expansion of ambience of the area by protection of open spaces, heritage heights and ambience and restrict large development to O'Connell Street?	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
		Would like Council to reevaluate the effect on historical zone/buildings.	<p>The DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long</p>	No change to DPA.

			<p>term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views.</p> <p>The North Adelaide Historic (Conservation) Zone will remain to ensure that the distinct heritage values are not diminished. In accordance with the guiding principles, the DPA is intended to reinforce the heritage values.</p> <p>For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
		Ensure retention of Lutheran sandstone and red brick library.	Noted	
		Ensure retention of Chapel at St Mark's.	Noted	
		Ensure retention of limestone, bluestone and red brick fence around Aquinas.	The fences at Aquinas of heritage value are Local Heritage listed. The DPA does not change this status.	No change to DPA.
		Retention of historic garden embankment of St Ann's is crucial to the gateway of Melbourne St.	<p>The DPA proposes to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham PI setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	No change to DPA
48.	Michael Rigoni 41-43 Ward Street North Adelaide	<p><u>Lincoln College</u></p> <p>Heights on the Ward St and Margaret St junction will have significant overlooking, shadowing, noise and traffic issues on heritage listed St Margarets. Allowing development on boundaries on St Margarets and other similar residences demolishes</p>	Noted. Lincoln College has existing buildings up to 4 storeys to Ward St. Adjoining the site to the west, development is envisaged up to 6 storeys. The DPA proposes up to 6 storeys however transitioning down in height to 3 storeys. It is considered that the DPA offers significant benefits to Ward St as the current building offers little to streetscape and	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Lincoln College.

	<p>the nature of these culturally and heritage significant residences.</p> <p>Would like setbacks, buildings heights including ancillary equipment, sloping roof, lift wells to be considered and reevaluate.</p>	<p>Conservation Zone.</p> <p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining residential Amenity and Lincoln College.</p>	
	<p>Would like Council to reevaluate plot ratio.</p>	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.
	<p>Would like Council to reevaluate the following:</p> <ul style="list-style-type: none"> · traffic movement in Margaret St between Brougham PI and Ward St. · on-site and on-street parking as there is already a severe shortage. · noise from trucks and students. · access and egress of delivery vehicles and waste removal. 	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
	<p>Why is the expansion of colleges needed? Why is there special policy for large institutions? Why not consider expansion of ambience of the area by</p>	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and</p>	No change to DPA.

	protection of open spaces, heritage heights and ambience and restrict large development to O'Connell St.?	<p>education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	
	Would like Council to reevaluate the effect on historical zone/buildings.	<p>The DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views.</p> <p>The North Adelaide Historic (Conservation) Zone will remain to ensure that the distinct heritage values are not diminished. In accordance with the guiding principles, the DPA is intended to reinforce the heritage values.</p> <p>For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
	Ensure retention of Lutheran sandstone and red brick library.	Noted	
	Ensure retention of Chapel at St Mark's.	Noted	
	Ensure retention of limestone, bluestone and red brick fence around Aquinas.	The fences at Aquinas of heritage value are Local Heritage listed. The DPA does not change this status.	No change to DPA.
	Retention of historic garden embankment of St Ann's is crucial to the gateway of Melbourne St.	The DPA proposes to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham PI setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also	No change to DPA.

			allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	
49.	Cate Cheetham 98 Old Street North Adelaide	Concerned DPA focusses on Stanley St and that Old St should be given the same protection as Sussex St.	Refer Additional Matters and Investigations' paper on St Ann's College.	
		Supports sensitive developments but has concerns about proposed changes for St Ann's College	Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.	No change to DPA
		View - concerned the DPA does not protect view toward Brougham PI Church. Increased heights may obliterate view which is an important part of the historical aspect of homes of Old St.	The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm views to Brougham Place Uniting Church. For more detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.	No change to DPA.
		Increase Student Population - Concerned about an increase in student population in terms trucks and delivery vehicles. Traffic should not increase down Old St. Commercial Vehicles - endorse need to stop commercial vehicles down Old St. Entry of commercial vehicles should be from Melbourne St.	The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. Old Street offers a servicing function for properties fronting Brougham Place and Melbourne Street. Given the need to prioritise transport functions from Brougham Place and Melbourne Street, the policy has been amended post consultation to allow access from Old Street provided residential amenity is duly considered. This can be achieved through siting, design, timing of deliveries etc. It is noted that the existing conditions cannot be resolved through this DPA. However future applications will be required to minimise the impact to residential amenity. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and St Ann's College.	No change to DPA.

	<p>Building Heights and Mass - concerned about the impact it will have. Must include stepping down away from existing private dwellings and not overshadow. Fire exits, air conditioning and equipment needs to be included in height, should not be additional.</p>	<p>Noted. The Desired Character Statement encourages development to step down to reflect the topography of the locality.</p> <p>The measure of height in the Historic (Conservation) Zone is taken from upper ceiling level. To introduce a different measure for specific sites in the zone would be confusing and inconsistent.</p>	No change to DPA.
	<p>Basement Parking - endorses the requirement of basement parking. There should be a ratio of parking spaces to apartments.</p>	<p>Noted. The DPA encourages the provision of basement parking and Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
	<p>Safe, Appropriate Recreation Areas - the DPA should acknowledge the need for internal spaces for physical recreation including sports and games and social events. This would mean residents could enjoy themselves without inconveniencing neighbours.</p>	<p>The DPA has incorporated the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.</p> <p>Policy is provided to seek additional activity areas to be designed or located to minimise noise and disturbance to existing residences.</p>	Revise DPA to refine Policy.
	<p>Liquor Licensing - Not clear if colleges are allowed to serve alcohol however should have the same requirements as a commercial premise.</p>	<p>For a function, residential colleges are required to apply for a temporary license or club license which is scrutinised by Council and the Police.</p> <p>Private drinking in rooms is considered to be the same as domestic drinking and therefore no license is required.</p>	No change to DPA.
	<p>Protection of Internal Views – Should be provisions in the Development Plan that protect views into a building to protect privacy and public decency.</p>	<p>Council wide policies will continue to provide the detailed policies to resolve amenity issues such as privacy. These will continue to apply minimal adverse impact to residential amenity and provide an assessment standard that is required Council Wide. The existing Council Wide Development Plan policies on residential amenity are intended to</p>	No change to DPA.

			manage impacts arising from future development For detailed response, refer to 'Additional Investigations paper on Maintaining Residential Amenity.	
50.	Geoffrey Gibson 251 Stanley Street North Adelaide	<u>St Ann's</u> Changes need to respect views of Adelaide City from Upper end of Stanley St.	The DPA does not propose to changes the existing Desired Character Statement of the Stanley West Policy Area 10 which seeks to protect the views of the City from Stanley street and Brougham Place properties. For detailed response, refer to Additional Investigations paper on St Ann's College.	No change to DPA.
		Changes need to be mindful of parking, traffic flow and delivery trucks	The Development Plan policy requires development to manage their transport impact. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
51.	Jeremy Kwan 124 Childers Street North Adelaide	Questions why the DPA is based on the perspective of a select group of developers rather than the entire suburb of North Adelaide. Not appropriate to penalise neighbours with property boundaries to these sites who should be able to develop in the same manner if they desire.	Noted. All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity. The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges. The DPA has been considered in the context of the entire suburb of North Adelaide. Changes to sites outside of the DPA were outside the scope of the DPA. No changes are proposed to site outside the DPA; as such the existing policy framework would apply. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Site Specific Responses.	No change to DPA.
		What changes are enforceable if any of the landholders acquire adjacent properties?	DPTI and some land owners have requested Council to consider changes that would allow	No change to DPA.

			<p>expansion beyond the existing boundaries.</p> <p>The DPA recognises the long standing education use of St Dominic's and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	
		<p>Parking provisions should be mandatory; the proposals indicate this is negotiable.</p>	<p>The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>In terms of the wording "must", the Development Plan is not written in that way. It is guideline document rather than a contract or statute. The language is in accordance with the State Planning Policy Library.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
		<p><u>Helping Hand</u></p> <p>Proposes the greatest concern due to location. It is situated in a primarily residential section of North Adelaide on sites that may be extended through acquisition.</p> <p>The density, overshadowing, street parking and access for delivery vehicles has the potential to impact most on immediate neighbours and surrounding residents.</p>	<p>The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Transport.</p>	No change to DPA.
		<p><u>St Dominic's</u></p>	<p>Noted. For further detail, refer to 'Additional Matters and Investigations' paper on St Dominic's Priory</p>	Revise DPA in accordance with 'Additional Matters and

		Provides little information on the type of development with no detail on scale or density.	College.	Investigations' paper on St Dominic's Priory College.
		<u>Archer West Policy Area 13</u> Good to consider Wards St as a higher density mixed use precinct.	Noted.	No change to DPA.
		Proposals for the colleges seem reasonable if off-street parking is provided.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		<u>Views Brougham Place Uniting Church</u> Concerned that the College near Brougham Place Uniting Church will be sufficiently built back so not to obscure the beautifully lit façade.	The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm views to Brougham Place Uniting Church. Policy around protecting important views has been strengthened. For more detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.	Revise DPA in accordance with Additional Matters and Investigations' paper on St Ann's College.
52.	Mandy Lyons 173 MacKinnon Parade North Adelaide	<u>Adequate Off-street parking</u> Difficult for friends and family to find a park when visiting. Concerned that adequate thought has not been given to the shortage of parking, not sure if adequate undercroft parking will be provided for each site so that students do not put pressure on the street parking.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
53.	Anita Lange (on behalf on behalf of Strata Corp 68-74A Buxton Street, North Adelaide)	<u>Helping Hand</u> Evident Helping Hand proposes a significant development. No consideration has been given to the impact on residents of any building proposal. · Timelines for demolition and building projects	Timeframes for construction are challenging. The EPA has guidelines aim to limit the impacts during construction. For detailed response, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care.	No change to DPA.

		<ul style="list-style-type: none"> · Removal of toxic material (asbestos) · Impact of dust on solar panel and air conditioning · Impact of increased traffic, heavy trucks and workmen · Impact of rubble on sewerage services (dust and debris effect the water filtration systems. · Impact on light and airflow 		
54.	Graham Burns, Masterplan on behalf of John Culshaw	<p><u>Channel 9</u> recently relocated its television production and broadcasting facilities to new premises in Hindmarsh Square. The site is now vacant.</p> <p>Our client wishes to re-develop the Channel 9 site by:</p> <ul style="list-style-type: none"> • demolishing all of the purpose built television production and broadcasting studios; • retaining, conserving and adaptively reusing the State and Local Heritage listed buildings; • retaining, conserving and adaptively reusing the row of single storey cottages facing Wellington Square; • constructing a series of 'high end' apartment buildings with associated landscaping and off street parking at basement and undercroft level. <p>The scale and nature of the proposal which is contemplated for the site would be non-complying under the current provisions of the Development Plan.</p> <p>Would like the Channel 9 site to be included in the DPA, and for appropriate policies to be formulated to facilitate and guide the form of development under consideration for this site. Those reasons include:</p> <ul style="list-style-type: none"> • the site is unique, it is vacant following its longstanding, continuous occupation by Channel for more than 55 years; • the site is large, and is much larger than many of 	<p>The scope of the DPA did not include the Channel 9 site. The inclusion of the Channel 9 site would be outside the scope of DPA.</p> <p>Council has reviewed this matter separately.</p>	Council is reviewing this matter separately.

		<p>the 11 sites under review by the DPA;</p> <ul style="list-style-type: none"> the current Dev Plan policies are inappropriate given that they are focused on protecting and enhancing North Adelaide's existing townscape and heritage character; the Zone and Policy Area discourage comprehensive and orderly site redevelopment; the Dev Plan policies, prevent the site being re-developed in an economic manner; the proposal will facilitate an increase in residential numbers, consistent with State Gov't and Council strategic aims. 		
55.	Llew Fernandis 174 MacKinnon Parade North Adelaide	<p>North Adelaide is a unique residential precinct that holds much historical significance. The look and feel of North Adelaide should be preserved and any future development must be designed to complement existing character.</p> <p>The institutional and college sites must incorporate sensitive infill to prevent the erosion of the character of the area.</p>	<p>Agree. The DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views.</p> <p>The North Adelaide Historic (Conservation) Zone will remain to ensure that the distinct heritage values are not diminished. In accordance with the guiding principles, the DPA is intended to reinforce the heritage values.</p> <p>For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
		<p>The development will bring little or no financial benefits to North Adelaide.</p>	<p>All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The</p>	No change to DPA.

			<p>uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	
		Most institutional sites are exempt from paying rates and taxes.	The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
		<p>The experience of the Adelaide Oval, the Adelaide University Graduates "Pub in the Parklands" and the parking challenges already experienced by local residents and the nursing staff at the Women's and Children's Hospital, demonstrate that North Adelaide cannot take any more large developments.</p> <p>There is no 'visible' infrastructure development plan for the area, changes are not being managed now and the planned additional influx of temporary residents (i.e. students) and commuters into North Adelaide (including those from the large residential Channel 7 development on Bundeys Rd) will further exacerbate the current problems which have been on-going and unresolved for many years.</p>	<p>Noted. Seek State Gov't to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites. The Integrated Land Use Planning Process proposes long-term transport improvements to North Adelaide.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA.</p> <p>Seek State Gov't support.</p>

	<p><u>Kathleen Lumley College</u></p> <p>The 6 storey student accommodation will worsen the car parking and traffic problems.</p>	<p>The DPA proposes a maximum building height of 3 building levels (9 metres) on Finniss St and 4 building levels on Mackinnon Pde.</p> <p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and Kathleen Lumley College.</p>	No change to DPA.
	<p>The DPA proposes the buildings will be constructed of the red brick that currently exists on site. The building design, colour and material would no way compliment or enhance the current streetscape facing Finniss St. Suggest keep red brick face fronting MacKinnon Pde Parade and use material and colour scheme for frontage on Finniss St that compliments and enhances surrounding residential properties.</p>	<p>Agree. Revise DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	Revise DPA.
	<p>New building should be setback from the street and building height the same as other residential homes (2 storey's).</p>	<p>Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	No change to DPA
	<p>Maximise green open space to ensure there is no overlooking, privacy and natural lighting issues.</p>	<p>The DPA has retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.</p>	No change to DPA.
	<p>An exit on Finniss St from a larger facility will significantly add to the traffic issues.</p> <p>On-street parking for students is not an option as current residents have problems with family and friends parking.</p> <p>Will place additional stress on infrastructure that is already grossly inadequate and incapable of handling additional volumes associated with</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters</p>	No change to DPA.

	projected new developments.	and Investigations' paper on Transport.	
	<p><u>St Ann's College</u></p> <p>Concerned the view of the Brougham Place Uniting Church steeple will be lost or significantly compromised if new development occurs close to the corner of Brougham Pl.</p> <p>Building heights should be setback and not obstruct the view of the church steeple from any angle for all surrounding streets</p>	<p>The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited and setback to retain key public realm views to Brougham Place Uniting Church.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper on St Ann's College.
	Concerned about the potential loss of trees on the corner of Brougham Pl and Melbourne St.	From a Development Act perspective, the trees have limited significance.	No change to DPA.
	Overshadowing issues would occur for the house opposite the site.	<p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
	<p>An exit for vehicles from the larger student facility will add to the traffic jams.</p> <p>On-street parking for students is not an option as parking is already extremely limited.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
	Will bring additional stress on infrastructure that is already lacking.	Noted. Seek State Gov't to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements	No change to DPA. Seek State Gov't support.

			and improved transport and access outside the sites.	
		The development will bring little or no financial benefits to North Adelaide. As it is an educational institution it is exempt from paying rates and taxes	The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
		<u>Memorial Hospital</u> The Hospital street frontage should be maintained as it stands. It is an important part of Adelaide's heritage history. The heights should set in alignment with the height of the heritage places so they are not lost.	The DPA seeks to retain the frontage of the Heritage Places fronting Sir Edwin Smith Ave. For detailed response, refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	No change to DPA.
		Any new buildings on the corner of Kermode St and Sir Edwin Smith Ave should be set back off the street plantings of gardens and trees.	Agree the concept plan identifies the appropriate location of new buildings which incorporates a setback from Kermode St and Sir Edwin Smith Ave	Revise DPA in accordance with Additional Matters and Investigations' paper on the Memorial Hospital
		New buildings should complement the colour and materials used of the heritage buildings.	For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	
		New buildings should not overshadow residential building along the hospital.	For detailed response, refer to 'Additional Matters and Investigations' paper.	
		All new buildings should incorporate underground parking facilities to take pressure of off-street parking.	The DPA encourages the provision of basement parking. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		<u>Women's and Children's Hospital</u> In the future, should the site come up for redevelopment, public consultation for any change of use must be undertaken.	The DPA retains category 2 or 3 public notification for all developments, other than minor development. For detailed response, refer to 'Additional Matters and Investigations' paper on Memorial Hospital and	No change to DPA.

			Women's and Children's Hospital.	
		The site is surrounded by narrow, congested streets and parking is a nightmare. Money should be used to provide more pay and park facilities for commuters and get a free or subsidised shuttle service to various drop off points in the area.	Noted. Seek State Gov't to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites.	No change to DPA. Seek State Gov't support.
		<u>Lutheran College</u> Congestion, parking and lack of sufficient infrastructure. The block is surrounded by streets that cannot be widened. Building a large footprint aged care facility will bring havoc to the streets. Ambulances, emergency drop-offs, hundreds more nurses and ancillary staff, visitors and patient traffic will not bring any benefits to the area. The problems faced at the W&CH will only be magnified.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. Specific changes have been made to the transport and Movement Policies in Policy Area 13. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and Archer West Policy Area 13.	Revise DPA in accordance with Additional Matters and Investigations Paper of Archer West Policy Area 13.
		As it is an institution it is exempt from paying rates and taxes.	The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
56.	Peter & Sharon Gillsmore 68 Buxton Street North Adelaide	<u>Helping Hand Aged Care</u> Impact of noise, dust, heavy traffic of trucks.	The EPA has guidelines aim to limit the impacts during construction.	No change to DPA
		Concerned about adequate parking for the facility	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport.	No change to DPA.

			For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	
		<ul style="list-style-type: none"> • Overshadowing of windows, backyard, swimming pool etc. • Building setbacks must be adequate to provide privacy, moderate visual impact of building bulk and ensure access to daylight and direct sun. • Height of future development • Does the development fit in with the neighbourhood • Large bulky buildings will impact on the outlook of neighbours and dominate private open space. • Would like to know the side and rear setbacks. 	<p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>Specific amendments have been made to concept plan to address adequate building setbacks.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Helping Hand Aged Care.</p>	Revise Concept Plan in accordance with 'Additional Matters and Investigations' paper on Helping Hand Aged Care.
57.	Karen Andrews 174 MacKinnon Parade North Adelaide	<p>North Adelaide is a unique residential precinct that holds much historical significance. The look and feel of North Adelaide should be preserved and any future development must be designed to complement existing character of the character of the area.</p> <p>The institutional and college sites must incorporate sensitive infill to prevent the erosion</p>	Agree. For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		The development will bring little or no financial benefits to North Adelaide. Most institutional sites are exempt from paying rates and taxes.	Noted. The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
		<p>The experience of the Adelaide Oval, the Adelaide University Graduates "Pub in the Parklands" and the parking challenges already experienced by local residents and the nursing staff at the Women's and Children's Hospital, demonstrate that North Adelaide cannot take any more large developments.</p> <p>There is no 'visible' infrastructure development plan for the area, changes are not being managed now and the planned additional influx of temporary residents (i.e. students) and commuters into North</p>	<p>Noted. Seek State Government to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA.</p> <p>Seek State Gov't support.</p>

	Adelaide (including those from the large residential Channel 7 development on Bundeys Rd) will further exacerbate the current problems which have been on-going and unresolved for many years.		
	<p><u>Kathleen Lumley College</u></p> <p>The 6 storey student accommodation will worsen the car parking and traffic problems.</p>	<p>The DPA proposes a maximum building height of 4 building levels along MacKinnon Pde and 3 building levels setback on Finniss St.</p> <p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and Kathleen Lumley College.</p>	No change to DPA
	The DPA proposes the buildings will be constructed of the red brick that currently exists on site. The building design, colour and material would no way compliment or enhance the current streetscape facing Finniss St. Suggest keep red brick face fronting MacKinnon Pde and use material and colour scheme for frontage on Finniss St that compliments and enhances surrounding residential properties.	<p>Agree. Revise DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	Revise DPA.
	New building should be setback from the street and building height the same as other residential homes (2 storeys).	For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.	No change to DPA
	Maximise green open space to ensure there is no overlooking, privacy and natural lighting issues.	The DPA has retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.	No change to DPA.
	<p>An exit on Finniss St from a larger facility will significantly add to the traffic issues.</p> <p>On-street parking for students is not an option as current residents have problems with family and friends parking.</p>	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining	No change to DPA.

	Will place additional stress on infrastructure that is already grossly inadequate and incapable of handling additional volumes associated with projected new developments.	neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	
	<p><u>St Ann's College</u></p> <p>Concerned the view of the Brougham Place Uniting Church steeple will be lost or significantly compromised if new development occurs close to the corner of Brougham Pl.</p> <p>Building heights should be setback and not obstruct the view of the church steeple from any angle for all surrounding streets.</p>	<p>The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited and setback to retain key public realm views to Brougham Place Uniting Church.</p> <p>Policy around protecting important views has been strengthened.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper on St Ann's College.
	Concerned about the potential loss of trees on the cnr of Brougham Pl and Melbourne St.	From a Development Act perspective, the trees have limited significance.	No change to DPA.
	Overshadowing issues would occur for the house opposite the site.	<p>Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
	<p>An exit for vehicles from the larger student facility will add to the traffic jams.</p> <p>On-street parking for students is not an option as parking is already extremely limited.</p> <p>Will bring additional stress on infrastructure that is already lacking.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA
	The development will bring little or no financial benefits to Nth Adelaide. As it is an educational	The DPA will deliver opportunities for continued services to the health and education sector.	No change to DPA.

	institution it is exempt from paying rates and taxes	The issue of rates and taxes are not a Development Plan matter.	
	<u>Memorial Hospital</u> The Hospital street frontage should be maintained as it stands. It is an important part of Adelaide's heritage history.	The DPA seeks to retain the frontage of the Heritage Places fronting Sir Edwin Smith Drive. For detailed response, refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	No change to DPA.
	Any new buildings on the cnr of Kermode St and Sir Edwin Smith Ave should be setback off the street plantings of gardens and trees. The heights should set in alignment with the height of the heritage places so they are not lost. New buildings should complement the colour and materials used and not overshadow residential building along the hospital.	Agree. The Concept Plan establishes the appropriate location of new buildings which incorporates a setback from Kermode St and Sir Edwin Smith Ave. For detailed response, refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	No change to DPA
	All new buildings should incorporate underground parking facilities to take pressure of off-street parking.	The DPA encourages the provision of basement parking. The Development Plan policy requires development to manage their transport impact. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
	<u>Women's and Children's Hospital</u> Should the site come up for redevelopment, public consultation for any change of use must be undertaken.	The DPA retains category 2 public notification for most developments. Refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	No change to DPA.
	The site is surrounded by narrow, congested streets and parking is a nightmare. Money should be used to provide more pay and park facilities for commuters and get a free or subsidised shuttle service to various drop off points in the area.	Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on Memorial Hospital and Women's and Children's Hospital.	No change to DPA.
	<u>Lutheran College</u> Congestion, parking and lack of sufficient infrastructure. The block is surrounded by streets that cannot be widened.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining	Revise DPA in accordance with the 'Additional Matters and Investigations' paper.

		<p>Building a large footprint aged care facility will bring havoc to the streets. Ambulances, emergency drop-offs, and hundreds more nurses and ancillary staff, visitors and patient traffic will not bring any benefits to the area. The problems faced at the W&CH will only be magnified.</p>	<p>neighbours.</p> <p>Specific policy changes are proposed for the transport and movement policies in Policy Area 13. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and Archer West Policy Area 13.</p>	
		<p>As it is an institution it is exempt from paying rates and taxes.</p>	<p>The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.</p>	<p>No change to DPA.</p>
58.	<p>Hannah & Andrew Andreyev 61 Buxton Street North Adelaide</p>	<p>Do not understand why the growth of the health and education sectors needs to be facilitated in Nth Adelaide by special amendments.</p> <p>There is also no evidence of the existing contribution made to the area by these institutions.</p> <p>Development needs to be encouraged as part of a board and uniform policy of urban development, not on a site by site, special-interest basis.</p> <p>Council proposes to make more exceptions, allowing institutions to step further out of line with the general feel and amenity of the area. Council needs to make a coherent case for the exceptions. The material provided to the community should include the needs, justifications and proposals from these institutions.</p> <p>Do not accept institutions make a special contribution to the economic and social fabric of the Nth Adelaide or the City. From a rate paying perspective, they are a drain on the community, in terms of car parking, rubbish removal and noise.</p> <p>The Helping Hand Centre provides aged care for a small group of people in which most lived outside of Nth Adelaide. It is not a facility that exclusively supports Adelaide residents.</p> <p>The Calvary Hospital is a private hospital that services a small base of patients in limited areas, and acts as a base for private sector specialists.</p> <p>The Lutheran land holdings represent a poorly developed hotchpotch of low grade commercial and</p>	<p>All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>

	<p>residential properties that have been accumulated by the church (and other landholders) over decades. Very little of the site is actually used by the church for religious purposes.</p> <p>The residential colleges have the most merit with respect to bringing economic benefits and vitality to the area. However, these sites have already been developed to a significant extent within the confines of the existing development plan.</p>	<p>policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper</p>	
	<p>Query the use of 4 storeys or 12 metres. Does this mean a maximum of either 4 storeys or 12 metres, or does it mean 5 storeys if you can fit them in 12 metres?</p>	<p>The DPA policies provide a reference to both height and storeys which is aligned with the current policy framework. This relates to the higher ceiling heights experienced from historic construction than contemporary construction. The policy and the non-complying trigger are aligned. The non-complying trigger requires both height and levels to be exceeded. I.e. Does this mean a maximum of either 4 storeys or 12 metres.</p> <p>However, the quantitative standard, works with other policies to minimise impacts to streetscape and adjoining residents. For example setbacks, rights to light, overshadowing, bulk and scale and interface policies are also used to guide the ultimate building height.</p>	No change to DPA.
	<p>Strongly oppose the 'envelope' approach to planning parameters. It is poorly conceived, and does not reflect best practice.</p> <p>The envelope does not include required setbacks from site boundaries. The illustration of the planning envelop has the site property abutting the boundary, and up to 1 storey at this boundary point.</p> <p>A reasonable set back from the boundary should be included i.e. 15 metres. We submit that:</p> <ul style="list-style-type: none"> • A certain minimum percentage of open space should be mandated for the sites, based on the overall density of development; and • A certain minimum percentage of this open space should be located along adjoining boundaries, not just along the street frontage. 	<p>Each of the sites are proposed to be managed by a series of site specific policies and a concept plan that enable compatible development. Many of the concept plans have been revised to incorporate side setbacks</p> <p>The DPA has retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.

	<p>The day to day amenity for residents is impacted to by the extent of setback and planted open space along the boundaries between properties.</p>		
	<p>Plot ratio is a key planning tool. There is no rationale or justification for abandoning this concept. It is vital that plot ratio between sites is consistent, or varies in a graded manner to ensure that specific sites do not look out of step with either adjoining sites, or the overall area.</p> <p>If the sites are allowed to develop with no recourse to plot ratio, then the only logical outcome of future development will be out of step and ugly buildings.</p> <p>Are not opposed to an increase in the plot ratio for North Adelaide however, oppose abandoning the concept for a limited number of sites.</p>	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.
	<p>Will the amendments remain if the uses of sites change? If the amendments operate in any other way, then they are nothing other than a disguised gift of monetary value to the exiting site owners, rather than a facilitation of the growth of these specific sectors.</p> <p>One way to address this concern is to include in the amendments an incentive for the site owners to acquire adjoining properties to increase the amenity of the overall site development.</p> <p>E.g. the amendment could include the ability to increase the density of the core development if a buffer is created by the acquisition and low level development of adjoining properties (including open space, and intermediate and low-level residential development).</p> <p>This will not only increase the overall amenity of the sites, but also provide an incentive for the site owners to acquire adjoining properties, and thereby put a floor under the value of the most adversely impacted properties.</p>	<p>The DPA retains the existing policy framework. Non-complying triggers are in place for most non-residential development. Any future change of use would be expected to meet the broader policy area desired character.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p><u>The sites will remain in the North Adelaide Historic (Conservation) Zone</u></p>	<p>The provisions of the North Adelaide Historic (Conservation) Zone will continue to apply.</p>	No change to DPA.

	<p>But the effect will be that the sites are not subject to the same restrictions that other sites within this zone. This will create a clear clash between the properties that are subject to the strict heritage rules, and the sites that are not. What policies or principles will be implemented to address this clash?</p>	<p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
	<p><u>Council Wide policies will remain the same</u> What is a 'Council Wide' policy and how will they be applied to these sites? It appears to us that these policies will continue to impact other property owners in a real way, but will no longer apply to these sites. What rules and principles will be applied to ensure that these policies still have relevance to the sites?</p>	<p>Council Wide policies are policies within the Development Plan that apply across the entire council area. Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The policies are intended to manage impacts arising from future development and will continue to apply to each application regardless of the DPA. For detailed response, refer to 'Additional Matters and Investigations' paper in Maintaining Residential Amenity.</p>	<p>No change to DPA.</p>
	<p><u>The policies will allow for the continuation of the existing land uses</u> It should be explicitly stated that a change in land use means that the special treatment to be afforded these sites no longer applies.</p>	<p>As mentioned above, the DPA retains the existing policy framework. Non-complying triggers are in place for most non-residential development. Any future change of use would be expected to meet the broader policy area desired character. For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
	<p><u>Each site will have site specific policy and a concept plan to guide proposed development</u> There is little or no protection for surrounding property owners, in the form of boundary setbacks, plot ratios, open space locations, parking, noise and congestion, etc. The policies need to be more fully developed, and in direct and meaningful consultation with surrounding property owners.</p>	<p>For detailed response, refer to 'Additional Matters and Investigations' paper in Maintaining Residential Amenity.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
	<p><u>Archer West Policy Area 13</u> <i>The Policy Area continues to allow a mix of land uses with a residential focus and provides opportunities for low and medium scale developments that are complementary to the</i></p>	<p>For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13</p>	

	<p><i>historic character values of the area.</i></p> <p>Agree the area is in need of a more coherent plan that transitions from Wellington Sq to the denser retail precinct of O'Connell St.</p> <p>Agree that this large site should be treated as a whole, and the Development Plan adopted to the entire site however, believe that long established planning principles should still be applied to the entire site, i.e. plot ratios, appropriate open space and setbacks etc. We see no reason why the owner of this site should benefit from special rules that do not apply equally to other owners in the area.</p>		
	<p>Given the significant increase in land value that would be associated with any plan amendments for this site, the site owner should be required to give back a reasonable proportion of that upside to the community in the form of genuine 'community' open space and amenity – not private open space and developer profits.</p>	<p>Noted. 'Value capture' provisions are not part of the planning system, nor was this part of the scope of the DPA.</p>	<p>No change to DPA</p>
	<p><u>Helping Hand Aged Care</u></p> <p><i>Within the area indicated as orange, allow for well-designed and high quality buildings provided the taller built form is sited away from the street and adjoining neighbours.</i></p> <p>All buildings must be sited away from the street and adjoining neighbours, not just the taller built form.</p> <p>From the illustrated envelope, it appears that a single storey building can be sited on the boundary, and each additional storey only requires a commensurate set back. This creates a pyramid shape design that is ugly and overbearing for neighbours.</p> <p>There needs to be a more pronounced setback from the boundary, creating more of a tower shape, rather than a pyramid shape.</p> <p>We submit that there must be strict setback standards from the boundary, where no development can take place, and that these setbacks are used for gardens and other development that adds to the amenity as between</p>	<p>The DPA has been revised to incorporate site specific changes to building setbacks.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>

	the properties, rather than facilitates the use of the sites, e.g. for car parking or truck driveways.		
	<p><i>Retain existing Local Heritage listed buildings, including the attractive landscaped spaces and gardens in front of the buildings.</i></p> <p>We do not agree that only landscaped spaces and gardens in front of buildings should be preserved. It is not the front of buildings that add to the residential amenity of the neighbourhood. There are more people spending more time inside their houses and in their backyards, than there are people walking along the street and sitting on their front verandahs.</p> <p>Open spaces in the front of properties adds little amenity. While narrow divisions between properties, and overlooked backyards, severely detracts from amenity for those people living in the area.</p>	<p>Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
	<p><i>Landscaped open space</i></p> <p>Must be properly entrenched within the plan itself, rather than left to general statements and administrative discretion.</p> <p>Given the proposed major changes to the planning envelope for these sites, it is critical that this be balanced with strong rules regarding the use of open landscaped space to retain the residential amenity of the area.</p> <p>In locating landscaped space, it is important it is placed on boundaries with neighbours, as it is with street frontage.</p>	<p>The DPA has retained the requirement to provide landscaped open space on each site.</p> <p>In terms of the wording "must", the Development Plan is not written in that way. It is guideline document. The language is in accordance with the State Planning Policy Library.</p>	No change to DPA
	<p><i>New development up to four storeys in height is allowed, provided buildings step down to two storeys in height along the Molesworth Street, Buxton Street and Childers Street frontages.</i></p> <p>Equal weight must be given to appropriate step-downs and open space along the boundaries between the sites and adjoining properties.</p>	<p>As addressed above, the DPA has been revised to incorporate site specific changes to building setbacks.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care and Maintaining Residential Amenity.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p><i>Taller building elements should be located in the centre of the site, transitioning down in scale adjacent to existing neighbouring residential</i></p>	<p>For detailed response, in regard to height and scale refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper on

	<p><i>properties.</i></p> <p>This is fine, providing 'transitioning down in scale' does not mean a pyramid share as per the illustrated planning envelop.</p> <p>It should also mean that adjoining properties can scale up towards these sites, i.e. 2-3 storeys along the adjoining boundaries.</p>		Helping Hand Aged Care.
	<p><i>Opportunity to increase aged care accommodation.</i></p> <p>Not opposed to an increase in aged care accommodation, nor redevelopment and refurbishment providing it does not result in a 4 storey pyramid starting from our fence line and rising upwards.</p>	<p>The DPA has been revised to incorporate site specific changes to building setbacks.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care and Maintaining Residential Amenity.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p><i>This cross section illustrates how taller development will be centred towards the middle of the site, stepping down to the low scale Childers, Molesworth and Buxton Streets and also stepping down to the adjoining residential neighbours.</i></p> <p>This cross section does not show the same step-down towards the boundary between the sites and the adjoining properties. This is equally (if not more important) for the amenity of the sites.</p> <p>Please provide a more considered illustration of these concepts as between the site boundaries.</p>	"As Above"	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p>Interface along-side boundaries: New development along residential boundaries will be required to manage impacts by tapering the taller built form away from the adjoining boundaries</p> <p>If starting at 1 storey up from our fence line, then this is not acceptable. More detailed planning rules are required here. This is a key concept to maintain residential amenity and adjoining property values</p>	"As Above"	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	<p>Transport and on-street parking: To reduce on-street car parking demand, new development should provide on-site car parking to cater for any increased demand.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining</p>	No change to DPA.

			<p>neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
		<p><i>Height</i></p> <p>The existing 4 storeys are out of step with the surrounding area, which comprises single storey properties.</p> <p>The Helping Hand Centre is based in the middle of an extensive residential area, far away from any commercial or higher density development.</p> <p>A maximum height of 4 storeys or 12 metres is ridiculous, and represents a perpetuation of previously misconstrued development planning.</p> <p>The only rationale for proposing 12 metres is the existing 4 storey monstrosity that was able to be built during a time that is now well recognized as the planning dark ages.</p> <p>The only way this could be justified would be to allow adjoining properties to develop up to 3 storeys, to provide a genuine 'tapering' in property heights.</p>	<p>The proposed height reflects the height of the existing buildings on the site. However, low scale built form would be expected along the streetscape and adjoining properties.</p> <p>The DPA has been amended to make specific changes to the site.</p> <p>For detailed response in regards to building height, refer to 'Additional Matters and Investigations' paper on Helping Hand Aged Care.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
59.	Margaret Duncan 3/4 North Esplanade Glenelg North	<p>Nth Adelaide area is unlike any other in Adelaide or any other Australian capital city. It has a "Paris village" character where apartments, businesses, university, hospitals, historic tourist attractions all co-exist with beautiful gardens, streetscapes, great transport facilities. Nth Adelaide has beautiful parkland views, significant trees, superb city view from this vantage point, and beautiful street scapes.</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years. They have a record of providing health and education services to the community and area important to the cultural heritage fabric of North Adelaide. Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued</p>	<p>No change to DPA.</p>

			services to the health and education sector. Provide opportunities aging population.	
		Public transport does not adequately cater for the demands of the Nth Adelaide precinct. More people coming into this area, will lead to increased traffic congestion, noise and parking pressures, especially "on-street" parking.	<p>Noted. Seek State Government to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA. Seek State Government support.
		The DPA focuses on expanding upwards and outwards, which will destroy the integrity of North Adelaide and allow for the demolition of historic buildings for commercial gain.	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA provides clear futures in the planning policy for the long standing institutions and colleges. For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
		<p>Nth Adelaide's historic "look and feel" and "Paris village" character will be lost forever and become like other suburbs in Adelaide.</p> <p>Concerned Nth Adelaide's unique historical residential village will be overridden and will be negatively affected.</p>	<p>The North Adelaide Historic (Conservation) Zone will remain to ensure that the distinct heritage values are not diminished. In accordance with the guiding principles, the DPA is intended to reinforce the heritage values.</p> <p>For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
		Would like commercial, educational and healthcare developments to be in the city centre where there is better transport and parking facilities.	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for</p>	No change to DPA.

			the long standing institutions and colleges. For detailed response, refer to 'Additional Matters and Investigations' paper.	
60.	Geoff Rischbieth 306 Ward Street North Adelaide	<u>Calvary Hospital</u> There will be a greater shortage of parking.	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		Increased building heights will create shadowing and diminish efforts of those who have invested in energy initiatives e.g. solar systems. Overlooking will negatively affect the quality of life of nearby residents	Noted. Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing (including solar panels) and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Overlooking, overshadowing and noise attenuation policies will continue be applied. For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value.	No change to DPA
		The DPA may mean organizations will be unable to resist offers for their sites, which may be sold to those who have no interest in patient or health outcomes but only the dollar return.	The DPA retains the existing policy framework. Non-complying triggers are in place for most non-residential development. Any future change of use would be expected to meet the broader policy area desired character. For detailed response, refer to 'Additional Matters and Investigations' paper	No change to DPA.
		Rumour that Calvary wants to be co-located in the new RAH precinct as the Private Hospital operator. It is questioned why their site is considered in the DPA until negotiations with developers of the RAH precinct are completed?	Calvary Hospital have advised that a new city based hospital is proposed to be developed (a planning application has been lodged for this proposal) to replace the Calvary Wakefield Hospital and Calvary Rehabilitation Hospital. The Calvary North Adelaide Hospital will continue to be an important facility for	No change to DPA.

			Calvary Health Care.	
	Believe the DPA will allow towering buildings that will change the skyline and dwarf and dominate historical buildings and their surroundings.	Site specific responses have been provided in relation to height and setbacks. Where additional height is provided, the development plan policy seeks for it to be located away from sensitive streetscapes and adjoining residential allotments. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Calvary Hospital.		Revise DPA in accordance with 'Additional Matters and Investigations' paper.
	Parking is already problematic. Parking should be provided for all residents and staff on site. Concerned about the servicing of the facilities by delivery and commercial waste removal vehicles. All new developments must ensure on-site service delivery and removal. Calvary is very tight with limited driveway space. The site has insufficient onsite parking for their nurses and visitors	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. For more a more detailed response, refer to 'Additional Matters and Investigations' paper on Transport.		No change to DPA.
	Devastated that the hospital could one day be 5 /6 stories high which would cause overlooking and result in loss of privacy and loss of sunlight in the afternoon.	Noted. As mentioned above, the Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Overlooking, overshadowing and noise attenuation policies will continue be applied. For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.		
	Will be increased noise from ventilation shafts and traffic.	Noise emanating from ventilation shafts would be required to comply with EPA noise attenuation standards. For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential		No change to DPA.

			Amenity.	
		Will diminish the value of their home which also occurred after the extension of the Calvary Day Surgery suite. The development has seriously affected our enjoyment of our home.	Property values are not strictly a planning matter. Development Plan policy has been provided to retain the residential amenity and not to diminish the heritage value.	No change to DPA.
		Parking is already difficult due to the hospital patient load and an increase in bed numbers would create total bedlam.	Noted. Seek State Gov't to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the sites. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA. Seek State Gov't support.
		The area is already well catered for in the retail sector. O'Connell St and Melbourne St and the City all offer sufficient shopping options. Happy for sensible, controlled development which improves facilities for the benefit of all South Australians, provided they are in sympathy with the historical values of the residential Village and do not alter the unique character of the suburb.	The DPA included a small scale shop on the Calvary Hospital site as a merit use. Given the need to retain the residential amenity this has been amended. For detailed response, refer to 'Additional Matters and Investigations' paper on Calvary Hospital.	Revise DPA
		Wants to ensure State Government understands and respects the Council's position statement with respect to City Heritage - "Council is dedicated to the conservation, protection and celebration of Adelaide's renowned heritage and character for future generations to interpret and enjoy."	Noted. For a detailed response refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	No change to DPA.
61.	Heather Scribner 92 Kingston Tce North Adelaide	<u>Archer West Policy Area 13</u> The building heights are too high and not suitable for an historic conservation zone.	For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.	Revise in accordance with 'Additional Matters and Investigations' paper.
		The DPA does not propose to heritage-list or protect any of the current unlisted buildings or fences which are of significance. Adelaide is losing important historical sites.	Noted.	

	<p>High-density will cause additional traffic, on-street parking problems, pollution, and noise including the need for increased waste removal vehicles and delivery vehicles.</p> <p>PA13, cannot support medium-level development proposed as it will result in more residents. Archer and Walter St are narrow streets which cannot support increased traffic as it is already experiencing problems with traffic bank ups. Parking is already extremely limited.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>Specific changes are proposed to the transport and movement policies of Policy Area 13.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA
	<p>The cottage at 30 Walter St dates from 1860 and is one of the oldest properties in Adelaide. It is to the benefit of us all and to future generations that we still have properties from this time period. The back fence of this property borders the Lutheran Church land. A six-story apartment building on this land would dwarf and shadow this historic cottage.</p>	<p>30 Walter Street is a Local Heritage Place. Provisions in the DPA, including concept plan, have been strengthened to deal with the interface issues of development in proximity to the cottage.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper
	<p>Archer is a small side street and Walter St is even narrower. Neither street can support increased traffic which brings increased noise and pollution. Many old cottages practically have their front doors on the street and have no buffer from the traffic. Buildings of 6-stories will ruin the historical atmosphere of the North Adelaide community. Low-level dwellings of 2-3 stories should be the maximum for this area.</p>	<p>Noted. The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>Specific changes have been made to the transport and Movement Policies so that main vehicle access is from Ward Street over other streets. Changes have also been made to the Built Form and Character policies in Policy Area 13 to ensure greater setbacks from Archer Street and adjoining residential allotments.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport and Archer West Policy Area 13.</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper on Archer West Policy 13.
	<p>The Lutheran Church doesn't pay rates and the services they benefit from are paid by the rate payers.</p>	<p>The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.</p>	No change to DPA

		The heritage of Nth Adelaide is of extreme importance and is our responsibility to retain it. The historical buildings and homes help to create an attractive neighbourhood which all Adelaide residents can enjoy. High-rise building of 6 or more stories will have an adverse effect on Nth Adelaide and should not be permitted.	Noted. The Conservation Zone ensures that the areas heritage values area not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions whilst retaining North Adelaide's heritage value. For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	No change to DPA.
62.	Angela McCabe The Memorial Hospital (TMH) Sir Edwin Smith Avenue North Adelaide	<u>Memorial Hospital and Women's and Children's Hospital</u> TMH is a key employer for many skilled workers in North adelaide with over 600 staff.	Noted. For further detail refer to 'Additional Matters and Investigations' paper on the Memorial Hospital and Women's and Children's Hospital.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.
		<u>Design Led Approach</u> Support the key DPA proposals for the site. Supportive and welcome a holistic masterplan, design led approach to any redevelopment of the site.	Noted.	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.
		<u>Building Height</u> Support the relaxation of building height controls. Height and massing must be assessed against the functional requirements of hospitals as well as the context of the site and location. The change allows the utilisation of setbacks, building heights and landscaped open space requirements.	Agree.	No change to DPA
		<u>Parking and Public Transport</u> Car parking continues to be a major issue for hospital management. Concerns have escalated when the on-street parking along MacKinnon Pde was made available to WCH day shift workers only and disappointed that they were not involved in the ACC/WCH parking plan. Welcome opportunity to work with ACC on a similar plan, promotion of public transport options to the hospital and investigations into encouraging staff to travel to work including cycling, park and ride options. Support Council's Smart Move Strategy outlining	Over time it is proposed Council will work with landowners to progressively improve travel behaviour, deliver public realm improvements and improve transport and access outside the site of developments. Council will continue to work with the State Government to manage the transport impact arising from ongoing development. The matter will be referred to Traffic Management to review. For more detail, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA. Refer to matter to Traffic Management to review.

		the intent to extend the tram line to Nth Adelaide.		
		<u>Kermode Street</u> Supportive of redesigning Kermode St as a high quality street or plaza, however plans must consider existing on-street parking, loading bays and driveways. It is essential for their operations to maintain direct street level access from Kermode St and Sir Edwin Smith Ave.	Noted.	No change to DPA.
		<u>Heritage Buildings</u> Future redevelopment will include some adaptive re-use of heritage listed buildings. There must be flexibility to allow change to ensure facilities remain fit for purpose.	Agree. There are existing Development Plan policies in place to address the adaptive re-use of heritage places.	No change to DPA.
63.	Carolyn Walker 218 Brougham Place North Adelaide	<p>Considers it important to embrace change and allow for redevelopment; however consideration should be given to all aspects of an area and in conjunction with the broader needs of Adelaide and not the colleges within the Nth Adelaide.</p> <p>The DPA is for the commercial benefit of the colleges to secure their survival in the short term. This student housing model is no longer viable and competes with cheaper student accommodation in the city. The changes in tertiary education through on-line learning and less direct class room contact is also fundamentally impacting on the viability and need for this type of student accommodation.</p> <p>The DPA is in isolation to other major changes that may occur to the use of the WCH and the Calvary Hospital which reflects the short term thinking rather than big picture planning for the area.</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.

			<p>been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	
		<p>The DPA fails to consider the impact on visitors, residents and local businesses, any change will have on the 'unique state asset' the current existing built form of the North Adelaide. 6 storey buildings adjacent single story cottages and businesses will create a series of monoliths with overshadowing and degradation to the current amenity with a high chance there will also be a reduction in property values.</p>	<p>Noted. Site specific responses have been provided in relation to height and setbacks.</p> <p>Where additional height is provided, the development plan policy seeks for it to be located away from sensitive streetscapes and adjoining residential allotments.</p> <p>In addition, Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>Important to maintain the ambience and historic conservation zone of the North Adelaide precinct through process. Heights should be a maximum of 4 storeys including ancillary equipment.</p>	<p>For detailed response, refer to 'Additional Matters and Investigations' papers on North Adelaide's Acknowledged Heritage Value and Fostering Economic Synergies.</p>	<p>No change to DPA.</p>
		<p>Setbacks should be established adjacent to existing single and double story dwellings and design and finishes should be sympathetic to the local heritage area and the buildings they abut.</p>	<p>The DPA has been revised to incorporate site specific changes to building setbacks.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	<p>Revise DPA in accordance with to 'Additional Matters and Investigations' paper.</p>
		<p>There is insufficient parking in North Adelaide and on-site parking should be required by colleges if student numbers are increased.</p>	<p>Noted. The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining</p>	<p>No change to DPA.</p>

			<p>neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
64.	Candace Lenzi 4/282 Melbourne Street North Adelaide	Noise and disrespectful behaviour of students at St Ann's. If student numbers increase disturbance would only become greater.	<p>Behaviour and noise of students is a management issue.</p> <p>Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For further detail, refer to 'Additional Investigations paper on Maintaining Residential Amenity and St Ann's College.</p>	No change to DPA.
		Frequent minor, and some major, accidents outside St Ann's driveway on Melbourne St. The lanes merge into one and students are forced to stop quite suddenly to enter the carpark driveway. St Ann's should develop a safer carpark and driveway to accommodate their current students	<p>Noted. The DPA seeks to provide an integrated transport approach which resolves the tensions between land use and transport and the resultant trip generation. In a Development Plan sense, transport and parking challenges relate to ensuring that suitable access is provided to a site without unduly impacting on the amenity of the locality through inappropriate design, parking stress and inappropriate traffic volumes.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
		Parking is already a huge issue, if student numbers increase parking will become more of a major issue.	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
		Removal of plot ratio, reduces the 'green' environment immediately, and is detrimental to Nth Adelaide and all of Australia.	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio</p>	No change to DPA.

			<p>however could have a poor building form and poorly address design criteria such as green space.</p> <p>In addition, the DPA has retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	
		<p>St Ann's property should sound proof the entertainment area, in keeping with the heritage part of their structure.</p>	<p>Council wide policies are provided to assess residential amenity such as noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development. Noise attenuation policies will continue be applied however, can only be applied to new development.</p> <p>For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	
65.	Julie Jansen, Masterplan on behalf of the Calvary Hospital	<p>Calvary supports the intent of the DPA to further recognise the importance of the hospital and provide a suitable planning policy framework to guide future development of the site.</p> <ul style="list-style-type: none"> • Calvary is supportive of the plot ratio being removed as non-complying trigger. • Calvary needs to meet changing demands in health care, incorporate technological advances and comply with standards and regulations. • Increase the need to replace old bed stock with new modern private rooms, increased new beds to meet the demands of the aging population and to fund new development, upgrade infrastructure, relocate from older buildings and repurpose those buildings for ancillary hospital functions as well as meet the demand for car parking. 	<p>Site specific changes have been provided to site specific parameters.</p> <p>For further detail, refer to 'Additional Investigations' paper on the Calvary Hospital.</p>	<p>Revise DPA in accordance with 'Additional Investigations' paper on the Calvary Hospital.</p>

	<p>The retention of Calvary within the North Adelaide H(C)Z with its current residentially focussed policy is not the most appropriate policy framework for the hospital.</p> <p>It is requested additional zone objectives are included to recognise the continuation and opportunities to develop. The Community Zone under the SA policy library is considered the most appropriate.</p>	For detailed response, refer to 'Additional Investigations' paper on North Adelaide's Acknowledged Heritage Value.	No change to DPA.
	The statement of heritage value should be amended to provide greater recognition to the role and function of Calvary. Recognition of land use is required for a hospital land use.	The DPA has revised the Desired Character statement for Policy Area 1 to give the role and function of the Calvary Hospital greater recognition.	Revise Policy Area 1 DFC.
	<p>Recognise shop, café and offices ancillary functions of Calvary. Clarify the noncomplying list.</p> <p>Remove non-complying trigger for shop, café/restaurant and office which is ancillary to and associated with Calvary Hospital.</p>	Post consultation the DPA has been amended to revert to the current Development Plan, which means shops are non complying.	Amend DPA.
	Concept plan in combination of building height restrictions is considered inappropriate and unwarranted.	Site specific changes have been made to the Concept Plans for each of the sites. For detailed response, refer to 'Additional Investigations' paper on Maintaining Residential Amenity and Calvary Hospital.	Revise DPA in accordance with 'Additional Investigations' paper.
	<p>Definition of site boundaries and specific policy relating to a site such as Calvary is more appropriately done by the use of a precinct rather than a concept plan. Concept plans should not define boundaries</p> <p>Request can be defined with the Hill Street Policy Area as a precinct which can follow cadastre boundaries.</p>	For detailed response, refer to 'Additional Investigations' paper on Fostering Economic Synergies.	No change to DPA.
	Building heights needs to be amended to 25 metres (6 levels)	For detailed response, refer to 'Additional Investigations' paper on Calvary Hospital.	No change to DPA.
	Does not support height as a non-complying trigger.	For detailed response, refer to 'Additional Investigations' paper on Fostering Economic Synergies.	No change to DPA.

		Amend the non-complying list to allow illuminated signage to be incorporated with the Calvary Hospital Site	The DPA has been revised to exempt an illuminated sign on the Calvary Hospital site.	Revise DPA.
		Seeks changes to non-complying trigger for the local heritage place	For detailed response, refer to 'Additional Matters and Investigations' paper on Economic Synergies.	No change to DPA.
		Seeks amendment to remove LOS requirement	For detailed response, refer to 'Additional Investigations' paper on Calvary Hospital.	No change to DPA.
		Seeks clarification on the "sensitive heritage and character context". Important facades are outlined which are greater than retention depth	The DPA has been amended to reference to views and vistas on the Concept plan to align with other existing concept plans in the Development Plan. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Views and vistas are not explained and there are no PDC's to support this.	"As Above"	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Request to amend the Concept Plan – low scale/high scale to provide clarity on range of matters	Concept Plans are considered useful and necessary. It is recommended the style of the Concept Plan is amended to identify what scale is and where development is envisaged. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Transport and car parking. Does not provide an integrated transport response where development results in intensification of activity	Noted. The DPA seeks to provide an integrated transport approach which resolves the tensions between land use and transport and the resultant trip generation. In a Development Plan sense, transport and parking challenges relate to ensuring that suitable access is provided to a site without unduly impacting on the amenity of the locality through inappropriate design, parking stress and inappropriate traffic volumes. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
66.	Ryan Lenzi	Living on Melbourne St has it perks with its heritage	Site specific changes have been made to St Ann's.	Revise DPA in accordance

	4/282 Melbourne Street North Adelaide	buildings local pubs and cafes in the area. Being so close to the city and historical Adelaide oval the traffic moment has disrupted the ambiance of the local movement.	For detailed response refer to 'Additional Matters and Investigations' paper on St Ann's College.	with 'Additional Matters and Investigations' paper.
		Concerned about the behaviour and noise generated by the students at St Ann's.	Behaviour and noise of students is a management issue. Refer to 'Additional Matters and Investigations' paper on Residential Amenity.	No change to DPA.
		Against plans to knock down the historical building-garden embankment of St Ann's which forms a crucial presentation to the Torrens embankment at the gateway to Melbourne St. Concerned that the long term ambiance of Nth Adelaide's heritage will deteriorate over time.	The DPA proposes to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham Place setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.	No change to DPA.
67.	Geoff Goode 2 Steuart Place North Adelaide	Expresses the following concerns: <u>New Precinct</u> replacing residential precincts, The creation of PA13, with every possible development option that would normally be non-complying in a residential precinct has been proposed as permissible without recourse to third party appeals. Ask that this area of land use be tightened up to match currently approved usage. The new institutional precinct is enormous. It is far too large and should be limited to the eastern side with the boundary running north from Ward Crt to Archer St. The close proximity of taller built form boundary, to the immediate east of Whinham Hall, is a concern from a visual perspective. Would like the boundary moved further east to preserve the hall's distinctive built form heritage.	Specific changes have been provided to site specific parameters. For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Concerned about the substantial increases in height allowance without third party appeal rights. Exceeding both the number of levels and the upper	For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies	No change to DPA.

	<p>most ceiling height in metres to trigger non-compliance is too generous. Would prefer either one of the metrics to trigger a non-complying category with the third party appeal rights for affected neighbours and interested parties. This fails the “certainty” test and is used throughout the PDC 25.</p>		
	<p>The Lincoln College height seems excessive when viewed, from Brougham Place. The built form would overshadow the heritage buildings along Brougham Place.</p>	<p>Noted. Lincoln College has existing buildings up to 4 storeys to Ward Street. Adjoining the site to the West, development is envisaged up to 6 storeys. The DPA proposes up to 6 storeys however transitioning down in height to 3 storeys. It is considered that the DPA offers significant benefits to Ward Street as the current building offers little to streetscape and Conservation Zone.</p> <p>For detailed response, refer to ‘Additional Matters and Investigations’ paper on Maintaining residential Amenity and Lincoln College.</p>	<p>Revise DPA in accordance with ‘Additional Matters and Investigations’ paper on Lincoln College.</p>
	<p>The heritage places on Archer St and Ward St have “Taller Built form” immediately behind their back walls. Ask that more clearance be given (3 metre transition with 45 degree upward sloping building envelope of maximum height)</p>	<p>The DPA envisages low scale buildings fronting Archer, Ward and Walter Streets with buildings in landscaped settings up to 6 levels centrally located.</p> <p>For detailed response, refer to ‘Additional Matters and Investigations’ paper on Archer West Policy Area 13.</p>	<p>Revise DPA in accordance with ‘Additional Matters and Investigations’ paper.</p>
	<p><u>Loss of Density Control Measure.</u></p> <p>The deletion of Plot Ratio as a metric to limit the density of population of residents, students, workers, etc. that impact on infrastructural consequences such as on street parking, traffic congestion at certain times, sewage overloading and therefore, requiring taxpayers to pay a portion of the institution’s expansion costs. Rate payers should be protected from the unexpected adverse consequences caused by a lack of suitable planning rules and regulations. The Plot Ratio is one such measure that can alleviate such risk.</p> <p>As a control on density in all its forms, relevant to expansion or replacement of the built form, it is critically required if built form bulk and height limits</p>	<p>Noted. Other design standards are considered to be more effective in controlling building design and density.</p> <p>Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to ‘Additional Matters and Investigations’ paper on Fostering Economic Synergies.</p>	<p>No change to DPA.</p>

		of levels and ceiling height are to be applied. For instance, basement levels for workshops, conference rooms, store handling (and storage itself), car parking, machinery, computers and so on, could mean that a large community of workers are accommodated in what appears to be a reasonable structure from an above ground perspective of visible levels, complying only with the upper most ceiling height. No third party appeal rights for would be a vastly greater built form of accommodation for say, a hospital for instance. The Plot Ratio metric, if rationally chosen to satisfy the broader community concerns of a predominantly residential suburb, would push this type of development into non-complying, and hence, give third party appeal rights to immediate neighbours and other relevant interested parties		
		Accuracy of plan details wanted in figure HS/1's north eastern site boundary for Calvary Hospital. How can residents enter or leave their carparks	The DPA does not intend to affect residents from entering or leaving their carparks.	No change to DPA.
		Residents facing Barnard St who currently have access to Priory Lane in figure HS/2 for St Dominic's Priory school. Minor detail that could be major for those parties. We assume these are mere drafting errors.	Noted. Rights of way are not affected by the Concept Plan as they are a separate consideration.	No change to DPA.
		Concerned of the usage of "should" instead of "shall" as it lessens likelihood of policy outcomes matching the intentions. "Should" is too tentative for prescribing a required result. "Shall" carries the authority of a command. Recommend its usage consistently to improve certainty and clarity	Noted. The Development Plan is an 'advisory' document, not a document that puts forward 'mandatory' requirements.	No change to DPA.
		Would like the neighbourhood to remain residential rather than be an extension of Adelaide CBD.	Noted. For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.	No change to DPA.
68.	Andreina Adames 172A Mackinnon Parade North Adelaide	"Plot ratio" as a density control for each of the sites is critical,	Noted. Other design standards are considered to be more effective in controlling building design and density. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a	No change to DPA.

			<p>clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Investigations paper on Fostering Economic Synergies and Maintaining Residential Amenity.</p>	
		<p>Opposes the extension of institutions and colleges as there are enough. North Adelaide has become an educational and entertainment district.</p>	<p>All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	No change to DPA.
		<p>Noise levels have significantly increased affecting our life quality.</p>	<p>Noted. Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For further detail refer to Additional Matters and Investigations' paper on Maintaining residential Amenity.</p>	No change to DPA.
		<p>Have been affected by the oval re-development, ticket car park and bus stops in front of their home, The Uni of Adelaide graduates clubhouse</p> <p>Car parking is an issue and it is a struggle for visitors to find a car park.</p>	<p>The Development Plan policy requires development to manage their transport impact. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to paper in Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
		<p>Demands that the DPA does not go ahead for</p>	<p>For detailed response, to 'Additional Matters and</p>	Revise DPA in accordance

		respect to the historic heritage and to the people who live, work and exercise in North Adelaide.	Investigations' paper.	with Additional Investigations paper.
		Does not want 2 to 6 storey buildings overshadowing their home or blocking the view of the Brougham Place Uniting Church.	The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited and setback to retain key public realm views to Brougham Place Uniting Church. For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.	No change to DPA.
69.	Andrew Murray 202 Archer Street North Adelaide	PA13 proposal should be amended to allow development with a maximum height of 3 storeys at the Wellington Square end whilst still allowing 6 storey developments at the O'Connell St business end. Any high rise development should be on the toward the Ward St side as the street is wider than Archer St and its neighbours are further away.	Noted. For detailed response, refer to Additional Matters and Investigations' paper on the Archer West Policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		Ward Ct should not be extended through to Archer St. Archer St is a very narrow street which is already very busy and suffers from a lack of parking.	Specific changes are proposed to the Transport and Movement policies in the Archer West Policy Area 13. For detailed response, refer to 'Additional Matters and Investigations' paper on Transport and the Archer West Policy Area 13.	Revise DPA in accordance with Additional Matters and Investigations' paper.
		Any proposal should be required to allow for off street parking for residents, guests and the significant numbers of staff that will be required to service the potential business or aged care facility.	"As Above"	Revise DPA
		The existing proposal does not consider the streetscape for existing heritage homes in Archer St (Wellington Square end) or along Jeffcott St and is silent in regards to library building within the college.	The Library is not a Heritage Place. For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value and specific sites.	No change to DPA.
		PA13 is not consistent with the overall plan whereas, it should be.	Noted, for detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13	No change to DPA.

70.	Andrew Phillips 92 Kingston Tce North Adelaide	<p>Concerned State Government wishes to override the value of the unique historical residential village of Nth Adelaide.</p> <p>No benefits from Institutions increasing their size with high-level and density buildings which will adversely affect the residential and heritage nature of the community.</p>	<p>Noted. All institutions and colleges are existing land uses. Council considers it is important to support these existing sites that contribute to the health and education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>The DPA doesn't actively encourage the establishment of additional institutions and colleges rather provide clear futures in the planning policy for the long standing institutions and colleges.</p>	No change to DPA.
		<p>There will be a greater shortage of parking along with more traffic, pollution and noise.</p>	<p>The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer to 'Additional Matters and investigations' paper on Transport.</p>	No change to DPA.
		<p>Increased building heights will create shadowing and increase overlooking, affecting the quality of life of nearby residents.</p> <p>Shadowing will diminish the efforts of those who have invested in energy initiatives e.g. solar systems.</p>	<p>Noted. Council wide policies are provided to assess residential amenity such as visual privacy, overshadowing (including solar panels) and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>Overlooking, overshadowing and noise attenuation policies will continue be applied.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA
		<p><u>Lutheran Site</u></p> <p>Once the DPA is approved organisations may be unable to resist offers made to purchase their sites. They may sell to those who have no interest in patient or health outcomes but only the return on the dollar.</p>	<p>The DPA retains the existing policy framework. Any future change of use would be expected to meet the broader policy area desired character.</p>	No change to DPA.
		<p>Parking is already problematic and needs to be</p>	<p>As mentioned above, the Development Plan policy</p>	Revise DPA in accordance

	<p>addressed. Development should accommodate parking for all residents and staff on site.</p> <p>Concerned about how facilities will be serviced by delivery and commercial waste removal vehicles. All new developments must ensure service delivery and removal occurs on site.</p> <p>Archer and Ward Streets are narrow and cannot support the added traffic and congestion that 6-story apartment buildings would bring.</p>	<p>requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>Specific changes are proposed to the Transport and Movement policies in the Archer West Policy Area 13.</p> <p>For detailed response, refer to 'Additional Matters and investigations' paper on Transport and the Archer West Policy Area 13.</p>	<p>with 'Additional Matters and investigations' paper.</p>
	<p>The building is too dense for the area and is not in keeping with the historic conservation of the area where 2-3 story buildings should be the absolute maximum.</p>	<p>Site Specific changes have been made to the DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.</p>	<p>Revise DPA in accordance with 'Additional Matters and investigations' paper.</p>
	<p>The 1860 cottage at 30 Walter St is one of the oldest properties in Adelaide. It is to the benefit of us all and to future generations that we still have properties from this time period. The back fence borders the Lutheran Church land. A six-story apartment building on this land would dwarf and shadow this historic cottage.</p>	<p>The DPA envisages low scale buildings fronting Archer, Ward and Walter Streets with buildings in landscaped settings up to 6 levels centrally located.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.</p>	<p>Revise DPA in accordance with 'Additional Matters and investigations' paper.</p>
	<p>Most residents of North Adelaide are in favour of sensible, controlled development which improves facilities for the benefit of all South Australians, as long as they are in sympathy with the historical values of the residential village and do not alter its unique character.</p>	<p>Noted</p>	<p>No change to DPA.</p>
	<p>Would like the State Government to understand and respect Council's position with respect to City Heritage - "Council is dedicated to the conservation, protection and celebration of Adelaide's renowned heritage and character for future generations to interpret and enjoy."</p> <p>If the proposed changes go ahead, our beautiful heritage buildings, architecturally-significant landmarks, and historical cottages will be dwarfed</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist</p>	<p>No change to DPA.</p>

		by towering skyscrapers. This cannot be allowed to happen to Nth Adelaide.	<p>in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
71.	daviddon	In favour of the DPA however, it depends on the quality of the design of every aspect including social.	Noted.	No change to DPA.
		Important to integrate the developments clearly with public transport; introduce carpooling among the many staff that drive in to work in North Adelaide.	<p>Noted. The DPA seeks to provide an integrated transport approach which resolves the tensions between land use and transport and the resultant trip generation. In a Development Plan sense, transport and parking challenges relate to ensuring that suitable access is provided to a site without unduly impacting on the amenity of the locality through inappropriate design, parking stress and inappropriate traffic volumes.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA.
72.	Michael Gibbs - Submission also on behalf of Catriona Gibbs and Natalie Gibbs 215 Brougham Street North Adelaide	<p>The proposed changes are significant and will affect approximately 12 to 14% of the property development area of North Adelaide.</p> <p>The draft DPA effectively removes the large institutions' areas from the Heritage zone. It also provides numerous planning control concessions that enable development that will denigrate the local village amenity and historical primary residential character of North Adelaide. This is effectively achieved at the expense of other property owners</p>	Noted. The DPA involves reviewing the policies in relation to each site involved in the DPA. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views.	Revise DPA in accordance with 'Additional Matters and investigations' paper.

	<p>and on the basis of the above myths rather than evidence.</p> <p>Rather than remove areas from the historical zone, the historical zone and village ambience should be strengthened. New development should reinforce rather than detract from this aspect. Potential building heights in the DPA should be reduced to support this</p> <p>North Adelaide Historical Zone should be put forward for national registration to protect this historical and village ambience going forward. This will create a sustainable employment opportunity going forward for centuries to come.</p> <p>While Colleges and large institutions are part of the history of North Adelaide, simple observation reveals that these institutions principally occupy what were originally residential buildings and building sites. Continual expansion of colleges and large institutions in North Adelaide undermines the central residential function, community cohesion and village ambience of the area.</p>	<p>The sites will continue to remain within the North Adelaide Historic (Conservation) Zone. The DPA intends to reinforce the heritage values.</p> <p>The height of buildings is an important part of the character of the North Adelaide Historic (Conservation) Zone.</p> <p>The DPA clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
	<p>Concerned that the draft DPA , on top of already existing concessions:</p> <ul style="list-style-type: none"> • The expansion of colleges will dominate existing historical buildings on site and overlook, overshadow and dominate over neighbouring historical properties. • weakens plot ratio requirements 	<p>The DPA proposes policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio while having a poor building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA in regards to removing plot ratio and policy that acknowledges important views
	<p>Concerned about the lack of Heritage listing or protection of a number of unlisted buildings such as:</p> <ul style="list-style-type: none"> • Library at the Lutheran seminary. • Chapel at St Marks 	Noted	

	<ul style="list-style-type: none"> • Sandstone cottages to Finnis St • Stone and brick wall around Aquinas College • Historic garden embankment of St Ann's. 		
	Special planning and rate concessions to the institutions results in other North Adelaide property owners, subsidising the expansion of Colleges, including substantial additional noise, traffic congestion and parking issues. Colleges require concessions to survive as they are marketing a dying product to students.	The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
	<p>To minimise impact on adjacent property owners, there is a need for design controls to:</p> <ul style="list-style-type: none"> • ensure new development provides adequate privacy • minimise impacts of delivery and waste removal services • ensure adequate on-site parking and loading/unloading planning • (re) location of air conditioning off roof areas and away from property boundaries and the application of acoustic controls. 	<p>Where close to residences, the DPA has provided policies to limit impact of additional activity on neighbours. Council Wide policies are provided to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>The Development Plan policy also requires development to manage their transport impact. This includes parking, loading and unloading which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Residential Amenity and Transport.</p>	No change to DPA
	<p>Residents along Stanley St and Brougham Pl will lose views to the City if building heights of equipment (such as air-conditioners and lift wells) or roofs exceed the height of existing buildings.</p> <p>Screening should be provided for equipment and views of the City be protected, with no future building exceeding the roof metal height shown with the red arrow in the photo below (including roof height and auxiliary equipment height above this level).</p>	<p>Policy around protecting important views has been strengthened.</p> <p>In addition, the DPA retains the existing Desired Character Statement of the Stanley West Policy Area 10 which seeks to protect the views of the City from Stanley Street and Brougham Place properties.</p> <p>The Council Wide policies of the Development Plan require the screening of roof plant and equipment or its incorporation into the design of new buildings.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	Revise DPA in accordance with Additional Matters and Investigations' paper on St Ann's College.

				
		Views from Melbourne St also need to be protected. The geography of the area, the rise from Lower North Adelaide to Upper North Adelaide, should be reinforced by the buildings on the bottom, side and top of the escapement, reinforcing the sense of the rise up the hill to the Brougham Place Uniting Church. Allowing 4 story buildings along Melbourne Street is likely to destroy this aspect.	The DPA proposes to allow new buildings up to 4 storeys. New buildings are expected to be sited and set back to retain key public realm views to Brougham Place Uniting Church. For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.	Revise DPA in accordance with 'Additional Matters and investigations' paper on St Ann's College.
73.	William Haslam 78 Hill Street North Adelaide	<u>St Dominic's Priory College</u> 78 Hill St is heritage listed. The cottages on the corner of the school are listed and will be retained. Currently has an uninterrupted view of the eastern facade of the Church. Submits that this view must be retained, there should be no increase in height between the cottages and the Church along the Molesworth St frontage.	Views to the Church are important. Additional consideration to this has been given in paper in 'Additional Matters and Investigations' paper on St Dominic's Priory College.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		The demand for aged and student accommodation in Nth Adelaide would be primarily based on its location, which is safe and close to most universities, hospitals, shops, recreation and entertainment. The single and double storey environment with a few landmark buildings in a verdant setting would also be an attraction. The response that demand warrants high rise facilities, fails to consider the potential detrimental	The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface, Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable	Revise DPA in accordance with 'Additional Matters and Investigations' paper.

	<p>effect on the overall environment that has generated the demand in the first place, nor the adverse effect on existing adjacent properties or landmarks.</p> <p>The siting of buildings up to 5 or 6 storeys high directly adjacent existing residences such as that east of Calvary Hospital, and the east, north and west of PA13 will substantially affect existing adjacent residential amenity.</p> <p>The siting of buildings up to 4 storeys directly adjacent the Brougham Place Uniting church will affect its legibility as a prominent landmark not only to Brougham PI and Gardens, but King William St.</p> <p>The skyline of the landmark Lutheran Seminary to Jeffcott Street will be lessened with a 6 storey backdrop.</p> <p>The Aquinas proposal appears to be condoning the complete hemming in of a heritage residence with 3 storey construction.</p> <p>In locating any taller construction alongside lower scale construction, Nth Adelaide is not oriented truly north/south, that only 2 hours direct sunlight is far from adequate, and that shadows will be at their longest at the beginning and ends of the day, and that the sun is actually oriented ESE and WSW at these times. Some of the proposals seem to be siting tall construction on the boundary of adjoining residential properties or only a metre or two back, which seems too close, and will result in major over-shadowing.</p> <p>The need for multi-storey construction also needs to be closely examined, particularly where in excess of a more modest and humanly scaled 3 to 4 storeys, a certain density and proportion of street is evident the liveability of great cities like Paris, and if well designed can accommodate the same or more people.</p> <p>The large institutions should not get caught up in a continual upgrading cycle in a ruinous attempt to draw the same pool of students from college to college, at the permanent expense of the local environment and heritage structures, not all of which have local and State Heritage protection yet.</p>	<p>development compatible with the existing generally historic streetscapes.</p> <p>The DPA has also retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space and space around buildings.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p> <p>A number of site specific changes have been made, refer to Additional Matters and Investigations' papers on:</p> <ul style="list-style-type: none"> · Aquinas College · Archer West Policy Area 13 · Helping Hand Aged Care · Calvary Hospital · Lincoln College · St Ann's College 	
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		With nursing home accommodation, account needs to be taken of whether residents will be active or not. There are many fit and active older people in North Adelaide who use community and communal facilities and would demand greater amenity with their accommodation that may be difficult to provide in multi-storey facilities with little or no landscaped space (due to Plot Ratios being dropped?) or gardens.		
74.	Ingrid Kerkhoven 16 Mansfield St North Adelaide	<u>Helping Hand Aged Care:</u> Concerned about the 4 storey proximity to residential to the east both sides of the road, and west to the south side of the road otherwise proposed max. 4 storey height accepted, subject to 'quality design'	Site specific changes have been made to the setbacks from the boundaries on the Concept Plans. For detailed response, refer to Additional Matters and Investigations' papers on Helping Hand Aged Care and Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<u>St Dominic's Priory College:</u> Concerned about the effect on the landmark Church of the Perpetual Adoration by the 3 storeys proposed to the west corner of the site, and proximity to residential to the south-east corner of the site otherwise proposed max. 3 storey height accepted, subject to 'quality design'	Specific changes have been to the Concept Plan to ensure greater separation from the key landmark. This will retain the visual prominence of the State Heritage Place. For detailed response, refer to Additional Matters and Investigations' papers on St Dominic's Priory College.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<u>Calvary Hospital:</u> Concerned about the 5 storey proximity to residential to the east as discussed otherwise proposed max. 5 storey height accepted, subject to 'quality design'	Site specific changes have been made to the setbacks from the boundaries on the Concept Plans. For detailed response, refer to Additional Matters and Investigations' papers on Calvary Hospital and Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<u>Lincoln College:</u> Proposed max. 6 storey height accepted (as adjacent other multi storey buildings at the 'entrance' to O'Connell Street), subject to 'quality design'	Site specific changes have been made to the setbacks from the boundaries on the Concept Plans. For detailed response, refer to Additional Matters and Investigations' papers on Lincoln College and Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<u>St Ann's College:</u> Concerned about the adverse effect on the landmark Brougham Place Church by the 4 storeys	The DPA proposes built form up to 4 storeys. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm	No change to DPA.

	proposed to the north of the site, and great care needs to be taken in siting anything to the south-west corner of the site to the 'entrance' to Melbourne St otherwise proposed max. 4 storey height accepted (ameliorated by the contours of the land here), subject to 'quality design'	views to Brougham Place Uniting Church. For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.	
	<u>Kathleen Lumley College:</u> Concerned the ACC Handout contradicts itself in requiring buildings to be 'retained in their settings' but diagrammatically indicating new 4 storey construction to Mackinnon Pde (surely the former is intended?) otherwise proposed max. 4 storey height accepted, subject to 'quality design'	Noted. The policy outcome sought for the site was to allow new buildings up to 3 storeys while enabling alterations of the existing four storey building. The DPA post consultation has been amended to reflect the streetscape character of Finniss Street and allow additional height up to 3 storeys at the centre of the site. Alterations to the existing 4 storey building would be considered on merit. For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Kathleen Lumley College.
	<u>Women's and Children's Hospital (N & 5):</u> Given existing precedent ameliorated by the contours of the land, has no major issues with the 6 storey height.	Noted.	No change to DPA.
	<u>Memorial Hospital:</u> Given existing precedent ameliorated by the contours of the land, has no major issue with the proposal, subject to 'quality design' and not impinging on the backdrop of the heritage buildings to Sir Edwin Smith Ave.	Noted.	No change to DPA.
	<u>Aquinas College:</u> Concerned about the adverse effect on the Aquinas heritage residence being 'hemmed in' by 3 storeys all around proposed to the north of the site otherwise proposed max. 3 storey height accepted.	The important view of the residence is from Palmer Place and Pennington Terrace. The building's prominence will continue to prevail. For further detail, refer to 'Additional Matters and Investigations' paper on Aquinas College.	No change to DPA.
	<u>St Mark's College:</u> Proposed max. 4 storey height is accepted, given existing precedent ameliorated by the contours of the land, subject to 'quality design'	Noted.	No change to DPA.

		<p><u>Archer West Policy Area 13:</u> Has no issue with infill however, concerned the proposed 6 storey height is too high for a predominantly single and double storey area, and impinging on the settings of the landmark Lutheran Seminary, Hancock Hall building, and two-storey heritage buildings to Wellington Sq /Jeffcott St. A more modest 3 to 4 storeys high density infill (set so as not to impact on landmarks) would be far preferable here, subject to 'quality design'.</p>	For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<p><u>St Ann's</u> There should be no interruption to the current view. Residents south of the Brougham Place Uniting Church will lose their view and that of looking up to the escarpment.</p>	<p>The DPA proposes built form up to 4 storeys to enable key views to be retained. This is also compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm views to Brougham Place Uniting Church. Policy has been provided to retain the character of the escarpment. For more detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	No change to DPA.
75.	Michael & Rosemary Johnston 212 Brougham Place North Adelaide	<p>Infill to be of sensible design that is in-keeping with street-scaping and the historical and heritage nature of North Adelaide. Set back design to maintain the aesthetic. The ambience and neighbourhood amenity must be maintained and be consistent with regulatory requirements.</p>	For detailed response, refer to 'Additional Investigations paper on Economic Synergies and Maintaining Residential Amenity.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<p>Further designs should be open to public scrutiny with a capacity for consultation and compromise.</p>	Public consultation on the policy of the DPA can only go so far in providing the detail of policy proposal. The DPA proposes that category 2 public notification for all development apart from minor works to be retained.	No change to DPA
		<p>Adequate on site car parking for all large institutions is essential. Access and egress should not be hampered to residential dwelling. The streets are congested with vehicles that belong to residential students and visitors to the WCH, this cannot increase. Parked cars hinder vehicles collecting waste and trades</p>	<p>Noted. The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage its transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p>	No change to DPA.

		men's vans.	<p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	
		<p>Any increase in student numbers will increase the noise level emanating from them, from traffic, waste vehicles and delivery systems of essential goods to the colleges and other large institutions.</p> <p>The proposed roof-top garden for St Ann's will allow noise to travel throughout the neighbourhood. An entertainment area should be at ground level.</p>	<p>Existing behaviour and noise of students is a management issue. Refer to 'Additional Matters and Investigations' paper on Residential Amenity.</p> <p>Policy has been provided to ensure high activity and noise generating uses are designed or located away from neighbouring dwellings.</p>	No change to DPA.
		<p>Historical and heritage acceptance of Nth Adelaide MUST be at the fore front of future development.</p> <p>Tall towers will remove the 'soul' of North Adelaide and cause unacceptable shadows for existing heritage building and wind funnelling corridors. Not against development; we are for sensitive development</p> <p>Alter the Development Plan so there is no re-course for residents and businesses and you will change the face of the city forever. This will not only affect the Adelaide City Council, but ALL councils in South Australia.</p>	<p>The DPA involves reviewing the policies in relation to each site. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light, effect of wind and views.</p> <p>The Conservation Zone ensures that the area's heritage values area not diminished.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value and Maintaining Residential Amenity.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
76.	The North Adelaide Society Inc	<p>The DPA will significantly damage the character of North Adelaide's HCZ. It contradicts the principle that the character should be conserved – across all of its policy zones – through consistent and equitable planning policy in relation to:</p> <ul style="list-style-type: none"> • its heritage buildings; • its pattern of development; and • its blending of new buildings into existing 	<p>The DPA recognises the long standing health and education uses and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>Refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.

	streetscapes.		
	<p>DPA consultation. In the interests of local govt administrative procedural competence, transparency and accountability with regard to state planning policy, there is room for improvement</p> <p><u>Recommendations</u></p> <p>Given ministerial dissatisfaction with key elements of the DPA as well as deficits in council DPA process and content management during 2015, that the DPA procedure be frozen and that a new, improved procedure follows.</p>	Procedures followed have satisfied the requirements of the Development Act.	No change to DPA.
	<p>The public consultation procedure has a number of process and content deficits that question council administration's judgement and ability to manage a DPA consultation.</p> <p>Fresh scrutiny be applied to the SOI enabling legislative instrument to this DPA procedure, as it fails to justify the outcomes proposed in the DPA. And throws into question why a DPA procedure was commenced at this time. Namely:</p> <ul style="list-style-type: none"> - DPTI submissions (as directed by Minister) may fundamentally change the policy intent of the SOI - Changes in SOI may have led to confusion of the public. - Questions the need for the DPA. - Questions DPA alignment with strategic context and policy directions of SA Strategic Plan. - Poor alignment with 30 Year Plan for Greater Adelaide as North Adelaide area not intended for infill development due to heritage and character. - DPA inconsistent with Council's 2009 Strategic Directions Report. - SOI does not examine infrastructure planning requirements and DPA deficient in on site car parking provision. 	<p>Procedures followed have satisfied the requirements of the Development Act.</p> <p>The purpose of the SOI is to agree on the scope of investigations to be undertaken for a DPA between the Council and the Minister. The Minister has agreed with the SOI.</p> <p>As the 30 Year Plan states 'Conserve the heritage, character and scale of the valued residential precincts of North Adelaide While allowing sympathetic and complementary development', it does envisage infill development.</p> <p>With the SOI establishing the scope of investigations, the role of the DPA analysis, including considering input following consultation, is to determine the nature of the appropriate amendment to the Development Plan policy in a balanced way. This includes considering DPTI submission on the DPA and possible infrastructure implications.</p>	No change to DPA.
	<ul style="list-style-type: none"> - Incompatibility of 'spot zoning' within a policy context. 	The DPA has considered a number of identified sites within an existing Zone. The DPA retains the context of the NA(C)Z, retains the sites within the	No change to DPA.

			zone rather than, as suggested by some include them in a separate zone, and gives a policy context for the sites.	
		- Insufficient contextual design responses to individual institutional sites.	Individual Concept Plans and policy area provisions for each site give contextual design responses without prescribing outcomes.	No change to DPA.
		- The new policy area 13 (Archer West Policy Area) contrasts strongly with the historic conservation emphasis of other policy areas in the H(C) Z.	For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		- Concept plans do not sufficiently deal with heritage and historic character.	The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy. For detailed response, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity and North Adelaide's Acknowledged Heritage Value.	No change to DPA.
		- DPA (especially in PA13 and in non-complying lists) moves away from focus on residential development in area.	The DPA only proposes minor changes to the type of land uses envisaged across all areas within this DPA. A focus is retained on residential use being the primary use across the Zone. For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.	No change to DPA.
		- Concern that building height and scale provisions will be overturned by Minister.	Noted.	No change to DPA.
		- Transport policies should have been reviewed as part of DPA.	For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.	No change to DPA.
		Several of council's proposals for change in the DPA be amended to ensure that the fundamental conservation features of the North Adelaide HCZ are retained. Namely: - Amendments will damage North Adelaide's unique heritage character and places too much	All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. The uses are considered important to the cultural heritage fabric	Revise DPA in accordance with 'Additional Matters and Investigations' paper.

		<p>emphasis on the development of the institutional sites. Changes to categories of public notification opposed.</p>	<p>of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for these long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue to enhance this service provision and ensure the long term competitiveness of these sites whilst maintaining residential amenity and historic character.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	
		<ul style="list-style-type: none"> - Remove the word 'total' relating to demolition of heritage listed properties (for non-complying development). 	<p>The DPA maintains the current Development Plan policies around demolition of heritage places, and that a non-complying development application process is only triggered where a development application proposes the entire removal of a heritage place. This approach enables a balanced assessment and allows opportunity for reasonable re-use opportunities to be undertaken.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
		<ul style="list-style-type: none"> - Retain restrictions for development to be within existing site boundaries for institutional uses. 	<p>As addressed in the above point, the DPA recognises the long standing education and institution uses and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p>	No change to DPA.

			For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.	
		- Retain existing height restrictions.	<p>The height of buildings is an important part of the North Adelaide Historic (Conservation) Zone. It is therefore important that Policy in the Development Plan clearly outlines expectations around height of buildings.</p> <p>The DPA increases the maximum building height based on an individual assessment of each and suitability for taller buildings in each site's local context.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.
		- Retain plot ratio requirement. The removal of plot ratio and reliance on other measures is not supported.	<p>The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
		- Discontinue proposed Policy Area 13.	For detailed response, refer to 'Additional Matters and Investigations' paper on Archer West Policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigations' paper on Archer West Policy Area 13.
		- Strengthen wording from 'should' to 'shall' in relation to on site car parking requirements.	A Development Plan is unable to mandate compliance with any particular provision. Case law has established that each proposal is to be assessed on a case by case basis and relevant policy applied according to the individual circumstances. On this basis, using the word "shall"	

			<p>is not appropriate and could be misleading in its future use in the assessment of development applications (i.e. cannot mandate compliance with car parking standards for every development application).</p> <p>The language is in accordance with the State Planning Policy Library.</p>	
		<ul style="list-style-type: none"> - Strengthen wording from 'should' to 'shall' in relation to building within sensitive heritage and character context on concept plans. 	"As Above"	
		<ul style="list-style-type: none"> - Changes to non-complying lists allows significant large scale commercialisation of area (particularly in PA 13) contrasting to intent of H(C) Z. 	<p>As addressed above, the DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.
		<ul style="list-style-type: none"> - The amendments become the basis for a future, DPA-linked, public procedure (if necessary), only after a council-commissioned, detailed new study is publicly released, focusing on the planning policy consequences arising from considerations in this DPA. Namely: - Documentation from institutions to Council 	<p>The DPA and accompanying documents provide sufficient policy context to finalise the DPA.</p>	No change to DPA.

		<p>following the Minister's letter of August 2013.</p> <ul style="list-style-type: none"> - Provision of all master plans for the 11 sites to better inform population density, traffic plans, overshadowing analysis, interface of built scale, and a future public infrastructure upgrade analysis. 		
		<ul style="list-style-type: none"> - The DPA consultation outcome be frozen until this study is released and discussed as part of an initial public consultation procedure. Matters to be fully examined include contents of the institutions' master plans, a study of future trends for North Adelaide population growth/density; a future traffic and parking demand study; and a detailed analysis of public infrastructure upgrade consequences – all arising from the implications of the DPA. The matters should be addressed as a precursor to amending a Development Plan. The recommendation is in line with the proposed Charter of Citizen Participation, which envisages improved delivery of policy outcomes/ consequences during early public engagement. 	The agreed SOI has timeframes that need to be considered in progressing the DPA.	No change to DPA.
		<ul style="list-style-type: none"> - Council's administration DPA procedure management be examined and improved before the DPA is further progressed. A number of unsatisfactory procedural issues have been evident. They cover council administrators' judgements and determinations about DPA consultation timing, and process and content management. Several determinations have negatively affected the adequacy of presentation, discussion and analysis of proposed new policy content and application within the zone. There is scope for considerable improvement. Namely: <ul style="list-style-type: none"> o The consequences of the amendments have not been clearly articulated. While other changes in North Adelaide have been fine tuning of the Development Plan, these changes are significant. o The proposed amendments contradict the provisions relating to the H(C)Z. o Master plans for the 11 sites should have 	<p>Procedures followed have been in accordance with requirements of the Development Act.</p> <p>In addition, a detailed, open and ongoing communication program has sought to enable community and stakeholders to be aware and informed of changes. A variety of communication has been utilised. A range of materials were provided to articulate the proposals of the policy amendment. During consultation and pre consultation, in order to ensure stakeholders had every opportunity to understand the DPA proposals, Council administration were available to discuss with every stakeholder the detail of the amendments.</p> <p>Council has requested masterplans from the owners of the sites subject to this DPA. Council cannot require any masterplans to be provided or developed. In any event, all land owners were able to make a submission on the DPA, with the majority participating and providing submissions.</p>	No change to DPA.

		<p>been provided.</p> <ul style="list-style-type: none"> o More explanation should have been provided into the policy intent of new land uses allowable in the H(C) Z. o Insufficient weight given to the crucial and exceptional importance of the heritage of North Adelaide 	<p>Amendments have been proposed to improve the response to the heritage values of North Adelaide. For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
		<p>- Amendments made by the Minister to the wording of demolition of heritage listed properties in the gazettal of the H(C) Z relating to 'total' demolition of a heritage building being non-complying was misleading to the DPA.</p>	<p>The DPA maintains the current Development Plan policies around demolition of heritage places, and that a non-complying development application process is only triggered where a development application proposes the entire removal of a heritage place. This approach enables a balanced assessment and allows opportunity for reasonable re-use opportunities to be undertaken. For further detail, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
		<p>- Insufficient analysis, explanatory material and discussion of concept plans, particularly in respect to how a concept plan limits or guides development.</p>	<p>The DPA provided information over and above the statutory requirements of the Development Act. The DPA involves reviewing the policies in relation to each site. A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles some of which include: providing economic synergies and maintaining residential amenity i.e. loss of light and views. The DPA proposes refined desired character statements and principles of development control specific to each site, these include the use of concept plans to visually express the policy for each site. For statutory consultation, specific fact sheets were provided for each site to provide summarised versions of the policy. The individual fact sheets were referred in the letter sent to property owners and occupiers in North Adelaide. In addition, they were made available online and at community centres.</p>	No change to DPA.

			For detailed response, refer to 'Additional Matters and Investigations' paper.	
		- Uncertainty of provisions dealing with expansion of institutional uses outside of site boundaries as well as into other policy areas	<p>The DPA recognises the long standing use of the institutions and proposes additional development opportunities within the current site boundaries.</p> <p>No substantive changes are proposed outside existing site boundaries. This is because allowing the expansion beyond the boundaries of the existing sites has implications on the surrounding residential character of the area. It is noted that this affects sites differently.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA
		- Minister's letter of 23 July 2015 compromises Council's public consultation documentation, given likely position of Minister to further changes of DPA	<p>The Minister's letter gave an indication of his position at that time. It is entirely appropriate for the Minister to comment on matters which he is particularly interested in. Council is required to respond to these matters raised by the Minister for Planning. The DPA will be submitted with detailed investigations that support the position put forward by Council.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
		- The DPA should have awaited the outcomes of the new Planning, Development and Infrastructure Bill.	The policy framework of the DPA is irrespective of the new planning system.	No change to DPA.
77.	Dr Rosemary Brooks 187 Brougham Place North Adelaide SA 5006	<p><u>St Ann's College</u></p> <p>The large institutions and colleges are not-for-profit and are finely balanced financially to continue to survive and thrive while keeping fees within reach.</p> <p>The institutions are governed by volunteers serving on Council and Foundations because of their belief in the value of education.</p> <p>The vision of all institutions is of community that cares for the newborn, young, disadvantaged, future</p>	<p>Council recognises that the sites are long standing colleges and institutions that have a historic attachment to the area. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>Council considers there is a need to allow sensitive</p>	Revise DPA in accordance with 'Additional Matters and Investigations' paper.

		<p>leaders, sick, the aged and the dying. To do this they must be able to regenerate, to modernise to provide an environment where innovation and enterprise can develop.</p> <p>St Ann's achieves a consistent 95% pass rate and 0.4 drop-out rate. The zoning should be amended to facilitate enhancement of what the institutions provide for the benefit of our City, State and Nation.</p> <p>The colleges provide critical accommodation and learning options for student's especially rural and overseas students. For this continue and be sustainable and attractive the colleges need the ability to develop and evolve.</p> <p>All of the colleges and schools in Nth Adelaide are on large land holdings with ample space for growth without adverse impact on neighbours.</p> <p>Universities and schools need to evolve and anticipate trends, therefore flexibility of planning controls is important so colleges can adapt.</p>	<p>development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response in regard to St Ann's College, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	
		<p>The current zoning is unsuitable for St Ann's College. The HCZ is largely a low density residential zone where St Ann's is a large scale university college use. The college should have its own zone or dedicated Policy Area that recognises it is not a typical residential area and has its own tailored provisions.</p>	<p>The purpose of the Conservation Zone is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C)Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C)Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C)Z and respective Policy Areas.</p> <p>For a detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	No change to DPA.
78.	Simon Stevens 187 Brougham Place	The large institutions provide vibrancy and life while at the same time are key players in ensuring	Noted. Council considers it is important to support these existing sites that contribute to the health and	Revise DPA in accordance with to 'Additional Matters and

	North Adelaide	<p>heritage buildings are maintained which leads to the whole community developing and growing.</p> <p>If the institutions are limited in growth they will flounder and be lost becoming victim to the next developer who will not bring a valued added to the community</p> <p>The institutions cover a broad spectrum of human existence from birth, youth and growth and death. They add value to the community.</p> <p>If institutions are unable to plan for their futures they will not be able to retain and maintain their significant historical assets which contribute significantly to the character of Nth Adelaide.</p>	<p>education sectors. This means carefully designing additional development to manage impacts to residential amenity.</p> <p>For a detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	Investigations' paper.
79.	Andrew Brooks 187 Brougham Place North Adelaide SA 5006	Supports the Colleges and believes they should have more flexibility to expand and improve immensely important mission of nurturing next generations.	<p>The DPA recognises the long standing education use of the colleges and proposes opportunities within the current site boundaries. Allowing the expansion beyond the boundaries of the existing site has implications on the surrounding residential character of the area.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
80.	Shylie Davidson 215 Brougham Place North Adelaide SA 5006	<p><u>St Ann's college</u></p> <p>The eastern side of the site has a right of way for our neighbours; it is a fire exit and provides a few essential car parks for St Ann's. It is essential that any planned building does not encroach on this land and the building does not extend any further to the boundaries.</p>	Noted. Rights of way are not affected by the Concept Plan as they are a separate consideration.	No change to DPA.
		<p>The building nearly covers the entire site and exceeds plot ratio. It will affect the ambience of surrounding homes if built to the boundaries.</p>	<p>It is noted, the 'building' on the concept plan is illustrative. A number of other policies will significant reduce the building footprint.</p> <p>Site specific changes have been made in regard to setbacks.</p> <p>In place of plot ratio, the DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.

			<p>building form and poorly address design criteria such as interface.</p> <p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College and Fostering Economic Synergies.</p>	
		<p>The proposed plan involves the removal of the gardens. As expressed by St Ann's the gardens are important to the ambience of the college and the students need to have a recreational area. The gardens need to be retained.</p> <p>The beautiful jacarandas would be lost if the gardens are not retained.</p>	<p>The DPA proposes to align the set back with the Mixed Use (Melbourne West) Zone. The Brougham Place setback aligns with existing buildings which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. From a Development Act perspective, the Rose garden has limited heritage significance.</p> <p>Four of the jacaranda trees are listed as Significant Trees in the Adelaide (City) Development Plan, any future development proposal would need to take the these trees into consideration.</p> <p>The DPA maintains the requirement for 50% landscaped open space which will reinforce the garden setting of the Zone.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	No change to DPA
		<p>The plan removes existing inadequate car parks that exist on the eastern aspect of the plot accessed via Old St. The plan removes the access for service trucks and waste trucks which revers in and out of the college from Old St and unloads over student parking spaces.</p> <p>More car parking needs to be provided for increase in student numbers</p>	<p>Noted. The Concept Plan does not indicate access arrangement. Old Street is the principle servicing street from properties on Stanley Street/Brougham Place and Melbourne Street. Despite this, the DPA proposed additional access from Melbourne or Brougham Place. Given their transport functions, post consultation this has been revised to allow access from Old Street. However, this would need to ensure amenity is protected through siting, design and timing of servicing.</p> <p>The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires</p>	No change to DPA.

			<p>development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer 'Additional Matters and Investigations' paper on Transport.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on St Ann's College and Transport</p>	
		Buildings need to be set back from the boundaries, reduced in regard to plot ratio, gardens, parking and truck access retained.	For further detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.	No change to DPA.
		The plan will restrict our views and contradict the city of Adelaide plan.	<p>The DPA proposes built form up to 4 storeys. However, among other objectives of the policy, applications will need to ensure that views to the City area also considered. This is compatible with the Mixed Use (Melbourne West) Zone. This is also sited to retain key public realm views to Brougham Place Uniting Church.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>	No change to DPA.
		Roof height and shape need to be flat and exclude air-conditioning units and roof top gardens which are noisy and destroy the ambience of the area. The existing are large, obstruct view and are noisy.	<p>Whilst the DPA cannot resolve existing matters that have been approved prior, the planning policies provide for additional consideration of new developments.</p> <p>The existing Council Wide policies of the Development Plan seek to ensure that roof top plant and ancillary equipment are designed to minimise visual impact, screened from view or incorporated into the design of the building.</p>	No change to DPA

81.	E J & H M Briedis 38 Finnis Street North Adelaide SA 5006	<p><u>Kathleen Lumley College (KLC)</u></p> <p>The 5 single-storey cottages on Finnis St contribute to the streetscape because of their low scale. While not heritage listed, the total demolition of the cottages would compromise the character of Finnis St.</p> <p>The DPA policy would enable KLC to build a multi-storey building in a street which has an acknowledged high proportion of valued heritage asset, many listed as State or Local Places.</p> <p>Given the refusal to build a 2-storey extension because the gutters might be seen, how does the DPA justify a multi-storey building opposite and demolish 5 single-storey dwellings.</p>	<p>Noted. The DPA proposals post consultation has amended the policy to encourage the retention of the Finnis Streetscape. Whilst this does not mean additional heritage listings (as this was not agreed with the Minister for Planning through the Statement of Intent) it means that new development would need to reinforce the Kathleen Lumley Streetscape.</p> <p>Site specific changes have been provided to site specific parameters.</p> <p>Where additional height is provided, the development plan policy seeks for it to be located away from sensitive streetscapes and adjoining residential allotments.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.
		<p>Worried about the continual reference to the Dickson Platten Master Plan when it wasn't produced during the consultation period and are not certain of what is contemplated.</p>	<p>Agree. Revise DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	Revise DPA.
		<p>If the KLC was to expand this would add further to our increasing traffic pressures and parking issues would be exacerbated</p>	<p>The DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For detailed response, refer 'Additional Matters and Investigations' paper on Transport.</p> <p>For further detail, refer to 'Additional Matters and Investigations' papers on St Ann's College and Transport.</p>	No change to DPA.

		Would prefer to continue the existing policy approach along Finnis St buildings that reflect the single storey streetscape.	Agreed. Policy has been proposed to reinforce the Finnis Street character. For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.	Revise DPA in accordance with the 'Additional Matters and Investigations' paper.
82.	John Bridgland 5/274 Ward St North Adelaide North Adelaide SA 5006	<p>Objects and opposes the DPA.</p> <p>The DPA is unwarranted and driven by political expediency to satisfy the high-density development aspirations of the owners and managers of these commercial sites.</p> <p>Except for the Women's and Children's Hospital, the sites seek significant new exceptions to the current development provisions for commercial growth reasons.</p> <p>When the HCZ was endorsed it was accepted that the fundamental planning principle behind the zoning was that North Adelaide's policy areas were not, and never would be, growth zones.</p> <p>The 2014 SOI that foreshadowed this DPA is a parody of illogical, contradictory and plain silly justifications. The DPA will prove to be highly damaging to the HCZ character fabric.</p> <p>The public explanatory procedures and content since commencement of the public consultation period (Aug to Nov 2015) are very clearly deficient, and the consultation's timing has been compromised by fresh ministerial intimations (12 months after the statement was approved) of profound additional change to key elements of the DPA by virtue of new ministerial submissions soon to follow. These would argue for even worse outcomes: removal of all height restrictions, expansion allowances for certain site boundaries, and new land uses (not specified).</p> <p>If endorsed by the council it will illustrate that forward planning in terms of predicting the effects of future increased population densities, car parking and traffic pressures and public infrastructure demands in and around a heritage zone have been ignored in the lead-up to a public consultation for a proposal flagging a major change to a development plan.</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper.</p>	Revise DPA in accordance with to 'Additional Matters and Investigations' paper.


		<p>Urges council not to pursue this DPA, and not to recommend to the minister that the proposals be signed off.</p> <p>Nth Adelaide's residential policy areas comprise one of South Australia's heritage 'jewels in the crown' and must be protected from opportunistic' raids.</p>		
83.	K Peters 204 Archer St, North Adelaide	<p>Submits that the Lohe Memorial Library be heritage listed and be retained because of its architectural and historical value as a significant local heritage site but a significant historical site associated with the Lutheran Church's presence in North Adelaide.</p>		
		<p>Submits that the higher rise development should be placed nearer Ward St than Archer St. Ward St is wider street than Archer St and has fewer residential premises that face the Lutheran site.</p>	<p>Noted. Provisions have been amended to reinforce the low scale streets on both Archer and Ward Street. In any case, Archer Street is on the southern side of the street where taller buildings would not result in over shadowing.</p> <p>In addition, there are Council Wide policies to assess residential amenity such as visual privacy, overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on residential amenity are intended to manage impacts arising from future development.</p> <p>For further detail refer to 'Additional Matters and Investigations' papers on Maintaining Residential Amenity, North Adelaide's Acknowledged Heritage Value and Archer West Policy Area 13.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigation' paper on Archer West Policy Area 13.</p>
		<p>Submits that any additional roads on the Lutheran site should only have entry and/or exit points off the much wider and safer Ward St.</p> <p>Archer St is a narrow street, it is extremely busy and dangerous due to the flow of traffic heading to and from the North Adelaide Village.</p> <p>The proposal to have an additional North-South roadway through the Lutheran site would create even more traffic for Archer St and would be extremely dangerous to the pedestrians, motorists and the many cyclists who use Archer Street.</p>	<p>Noted. The DPA has been amended to prioritise movement from Ward Street.</p> <p>The DPA is also seeking a pedestrian link through the site. Given the size of the policy area it is important to provide mid-block connections through the site. Historically there was a road through the site. The DPA is not advocating for a road to be provided through the site.</p> <p>Additionally, specific changes are proposed for the Transport and Movement policies of the Archer West Policy Area 13.</p> <p>For further detail, refer to 'Additional Matters and investigations' paper on Transport and Policy Area</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigation' paper.</p>

			13.	
		Submits any redevelopment proposal should be required to provide off-street parking not only for staff and visitors of the Lutheran business centre but also for their aged care residents, their guests and for the staff who will be required to service the proposed aged care facilities and other offices. Parking in Archer St is limited. There is insufficient parking for the many workers employed on O'Connell Street and for the patrons of the various establishments	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport. For further detail, refer to 'Additional Matters and investigations' paper on Transport and Policy Area 13.	Revise DPA in accordance with 'Additional Matters and Investigation' paper on Archer West Policy Area 13.
		Any proposal to remove any of the mature and attractive trees along Archer St should be rejected.	The Development Plan Policy seeks consolidated access points to ensure limited impact to the street trees.	No change to DPA.
		Rate payers should not have to subsidize the Lutheran Church's Council rates. Submits that if the redevelopment occurs, the rating system for the site be examined to achieve a fairer and more equitable result considering its massive expansion of commercial development.	The DPA will deliver opportunities for continued services to the health and education sector. The issue of rates and taxes are not a Development Plan matter.	No change to DPA.
84.	Elizabeth Vines Australia Icomos	Concerned that proposed changes would erode the important heritage values of North Adelaide that have been carefully managed through previous provisions of the Development Plan over time.	An issue paper has been prepared on Heritage and Conservation. Refer to 'Additional Matters and investigations' paper on Fostering Economic Synergies and North Adelaide's Acknowledged Heritage Value.	No change to DPA.
		Concerned about new allowances for greater height within the policy areas occupied by the various institutions.	For detailed response, refer to 'Additional Matters and investigations' paper on Fostering Economic Synergies and North Adelaide's Acknowledged Heritage Value.	Revise DPA in accordance with 'Additional Matters and Investigation' paper.
		Amendments to plot ratio, where the need to have regard to the stated plot ratios is now deleted, would likely lead to weakened character protection.	The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface.	No change to DPA.

			<p>Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	
		<p>The intent to introduce new land uses into a Historic Conservation Zone (HCZ) requires detailed explanation and appears to focus on greater development intensity within the Zone.</p>	<p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Response to this matter is referred to in 'Additional Matters and Investigations' paper on Fostering Economic Synergies</p>	No change to DPA.
		<p>incompatibility of objectives within Policy Areas with the anticipated developments e.g. in the Hill Street PA1, the Desired Character statements notes it "should remain one of the lowest density residential areas in Upper North Adelaide and should be protected and enhanced as one of the most historically intact residential areas in South Australia. However, the new developments anticipate proposed expansions for St Dominic's; the Helping Hand; and Calvary Hospital which are incompatible with this Desired Character and the existing Objectives.</p>	<p>For detailed response, refer to 'Additional Investigation' paper on North Adelaide's Acknowledged Heritage Value and the Specific sites.</p>	Revise DPA in accordance with 'Additional Matters and Investigation' paper.
		<p>PA13 has been created to allow for the master planning for the Australian Lutheran College. The Desired Character and Objectives statements strongly contrast those of the other policy areas of the HCZ and allow for much higher density to be implemented. Plot ratio has been eliminated.</p>	<p>For detailed response, refer to 'Additional Investigation' paper on Archer West Policy Area 13.</p>	Revise DPA in accordance with 'Additional Matters and Investigation' paper.
		<p>North Adelaide is very important to the cultural significance of the City, being part of Light's original plan. It has long been held as a "jewel" area, visited by many, and appreciated by local residents. High property prices reflect its treasured character and</p>	<p>All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record</p>	Revise DPA in accordance with 'Additional Matters and Investigation' paper.

		inner city location. It is imperative that this character is not undermined by inappropriate new development that would destroy the significance of the locality.	<p>of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper.</p>	
85.	Louis Guthleben & Simon Williams 47 Archer St North Adelaide	Would like the colleges to be given the opportunity for expansion. Believe it would be of benefit to business in the area and to the State in general given the importance of the tertiary education sector.	Noted.	
86.	St Mark's College 46 Pennington Tce North Adelaide	<p><u>St Mark's College</u> All Colleges and their students play an important part in the economic and educational life and bring a sense of diversity and vibrancy. It is St Mark's 91st year of operation. Commends Min Rau's request to remove non-complying controls relating to building height and various land uses.</p> <p><i>Use</i> St Mark's College seeks to provide and ensure the following objectives in relation to its buildings:</p> <ul style="list-style-type: none"> · an attractive environment; · facilities and services designed to attract students; · facilities to enhance the life and environment; · appropriate accommodation; 	<p>Noted. Specific changes have been provided to site specific parameters, refer to 'Additional Matters and Investigation' paper on St Marks College.</p> <p>Agree. The intent was to retain the existing land use i.e. <i>"be associated with student accommodation and educational uses."</i></p> <p>For detailed response, refer to 'Additional Matters and Investigation' paper on Fostering Economic Synergies.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigation' paper.</p> <p>Revise DPA in accordance with 'Additional Matters and Investigation' paper.</p>

	<ul style="list-style-type: none"> · achieve an environmentally sensitive campus; · sustainability of capital development and asset management. <p>It's vital the College earns revenue from other sources, e.g. during the summer vacation period such as conferences, seminars, meetings and functions.</p> <p>Additional revenue keeps student fees affordable, and enables improvements to existing buildings and facilities, including the heritage listed buildings.</p> <p>Student accommodation is becoming increasingly competitive and it is important St Mark's considers its unique aspects and the quality and range of facilities it provides.</p> <p>Future planning should enhance those services and facilities and add others that will provide further incentives for students to prefer living at a residential college over commercially operated student accommodation.</p> <p>It is important the DPA carefully considers the standard and amenity of the College and support and extend the use of the site beyond student accommodation to include all events and educational pursuits that allow the College to provide the best experience and outcomes possible for those students that make the decision to reside at St Mark's College.</p>		
	<p><u>Height</u></p> <p>The existing height of our tallest buildings is 3 storeys. To develop existing older buildings, issues such as disability access, the need to install a lift, the requirement to have separate rooms for kitchens and laundries and the inclusion of common recreational areas within student rooms must be taken into consideration.</p> <p>To preserve the existing beautiful and spacious green grounds, critical to the experience at St Mark's, the capacity to increase height over 3 floors is important whilst maintaining student numbers at around the 250 mark. 5 storeys may be required to</p>	<p>The height of buildings is an important part of the character of the North Adelaide Historic Conservation Zone.</p> <p>The heritage context is largely determined by the need to protect the visual prominence of St Peter's Cathedral. 5 storey buildings could interfere with views to the Cathedral and would reduce its landmark status. 4 storeys could be accommodated without impacting the views. Therefore it is not considered appropriate to amend the building height.</p> <p>It is important that policy in the Development Plan clearly outlines expectations around future height of</p>	No change.

		maintain this number.	buildings. For detailed response, refer to 'Additional Matters and Investigation' paper on St Marks College.	
		<p><u>Conservation</u></p> <p>The site is within a significant historic precinct, St Marks accepts responsibility for and is sensitive to its heritage items in regard to their care, management and conservation.</p> <p>St Marks values the distribution of the College's open spaces and courtyards as the 'lungs' of the College.</p> <p>It is important to note that the balance of this site (<50% including the open spaces) is very limited and under these circumstances, the College believes that it is not acceptable for Newland, Memorial, or the Grenfell Price Dining Hall to be nominated in any way as worthy of preservation or conservation. The 3 buildings are essential sites for future expansion and development for educational purpose and use.</p> <p>St Mark's proposes to extend the area indicated as orange (see picture below) to include the buildings mentioned.</p>  <p>The development of the non-heritage listed buildings is critical to the success of the College's future as the leading provider of; inter alia, university accommodation and education.</p> <p>Further revenue is vital for the College to continue</p>	For detailed response, refer to 'Additional Matters and Investigation' paper on St Marks College.	Revise DPA in accordance with 'Additional Matters and Investigation' paper.

		to maintain the 4 State Heritage buildings along Pennington Tce.		
87.	Robert Hill Smith 34 MacKinnon Parade North Adelaide	<p>These areas are precious parts of Adelaide architectural and cultural scaping. They define our City.</p> <p>The impacts on privacy, Parklands views alter their living culture. The DPA is heavy handed and unnecessary and must be rejected on these grounds as well as increased traffic and on-street parking difficulties.</p>	<p>Noted.</p> <p>The DPA proposes to refine policies to retain the heritage values.</p> <p>In respect to parking, the DPA maintains the existing Development Plan approach of requiring on-site car parking for expansion of any use on these sites and requires development to manage their transport impact. The Development Plan cannot require land owners to address existing on-site parking shortfalls.</p> <p>The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Transport.</p>	No change to DPA
88.	Religious Society of Friends (Quakers) 40A Pennington Tce North Adelaide	<p><u>St Mark's College</u></p> <p>Concerned about the proposed building heights in relation to overlooking, shadowing and light reduction with no mitigation for non-residential properties</p>	<p>Council Wide policies are provided to assess amenity such as overshadowing and noise and disturbance. The existing Council Wide Development Plan policies on amenity are intended to manage impacts arising from future development. Overlooking is usually a concern for residential properties and the Development Plan does not provide policies to protect commercial or community land uses from overlooking.</p>	Revise the DPA in accordance with 'Additional Matters and Investigations' paper.
		<p>Proposed building envelopes with no plot ratio or set-backs that abut not just our property, but our building itself</p>	<p>The DPA proposed site specific policy and concept plans in place of quantitative standards for plot ratio and setbacks. Setbacks will be required and assessed to limit the impact on adjoining neighbours. The Concept Plan has been amended post consultation to reduce the impact on the boundary.</p> <p>The 'Additional Matters and Investigations' paper on the St Mark's site proposes to be amend the concept plan to locate building envelope off the rear boundary of 40A Pennington Terrace in light of</p>	No change to DPA.

			<p>the submission</p> <p>In relation to plot ratio, the DPA does not seek plot ratio standard as when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface,</p> <p>In addition, the DPA has retained the requirement to provide landscaped open space on each site to ensure sites have private provision of open space.</p> <p>Each of the Institution and College sites, are proposed to be managed by series of site specific policies and a concept plan that enable compatible development.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	
		<p>Liveability issues due to densification – loss of carbon neutrality on a suburb-wide scale, heat island effects, road congestion</p>	<p>Existing Development Policy provides a certain level of carbon management. The City of Adelaide in accordance with the Carbon Neutral Strategy 2015-2025 will be identifying ways for development to deliver a world first carbon neutral city. Urban consolidation measures, as per this DPA, provides a significant component of lower carbon. Reducing in the need for travelling is an important element of carbon neutrality. The centralised location of these sites provide a good grounding in reducing vehicle trips. Continuing the requirement of landscaped open space also enhances the environmental qualities of these sites.</p>	<p>No change to DPA.</p>
		<p>Loss of heritage character of North Adelaide</p>	<p>All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p>	<p>No change to DPA.</p>

			<p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>The Conservation Zone seeks to ensure that the areas heritage values area not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' papers on North Adelaide's Acknowledged Heritage Value.</p>	
		Lack of "non-compliance" triggers locks the public out of having any say in how their community is developed	<p>The DPA retains category 2 public notification for most developments. This will allow consideration of the detail from adjoining neighbours.</p> <p>For further detail, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies.</p>	No change to DPA.
		<p>The Meeting House and its adjacent library are overlooked and partially overshadowed by the new car parking and residential development at St Mark's College. The library has clerestory windows that allow light from the north and these have been impacted by the new development. Our library has solar panels that have also been impacted. These solar panels are an important component in our Meeting's commitment to carbon neutrality. The proposed new building heights to the north of our property extend right along our property boundary will lead to further significant overlooking, light and shadowing impacts. Our ability to install further solar panels at the Quaker property will be impossible, with the only north-facing suitable roof space overshadowed by development. We assert that as</p>	<p>Noted. Council Wide policies are provided to assess overshadowing (including solar panels) and noise and disturbance. However the policies for visual privacy, noise and disturbance are generally used for the interface between residential and non-residential land uses.</p> <p>For further detail refer to 'Additional Matters and Investigations' paper on Maintaining Residential Amenity.</p>	No change to DPA

	<p>an historic place of community and worship, the rights of the Meeting to natural light should not be further threatened by further development.</p>		
	<p>The building envelope for St Marks College, proposed in this DPA, allows buildings up to four stories to be built right up against the northern wall of our library building. The only set-backs or height restrictions proposed for any high buildings in this envelope are that they step down toward Kermod Street and Pennington Terrace. Strongly request that the building envelope be moved back from the boundary and that similar overlooking and shadowing set-backs be used as are proposed in the DPA for developments adjacent to small residential buildings.</p>	<p>The Concept Plan has been revised in relation to setbacks along the north-eastern boundaries. For detailed response, refer to 'Additional Matters and Investigations' paper on St Marks College.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
	<p>The loss of plot ratio requirements will increase densification which impact on the liveability of the suburb. Increased population will lead to increased traffic flows on relatively narrow streets. Have been adversely affected by the increased demand on parking in the local area as a result of other development. The Quaker community has an increased number of elderly members who require close, safe parking to enable them to continue attend regular worship. It is not uncommon for the Meeting to find strangers cars parked on our property, and all street parking filled, and this has been a difficult ongoing problem for us to manage</p>	<p>The DPA requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours.</p> <p>The locality is also well serviced by public transport reducing the need for vehicular transport.</p> <p>For more detail, refer to 'Additional Matters and Investigations' paper on Transport.</p>	<p>No change to DPA.</p>
	<p>Additionally, large buildings are made from heat retaining materials such as concrete. By reducing the area of green space, the combination of additional retained heat in the buildings and loss of evaporative cooling from the vegetated areas causes a "heat island" effect that means the locality may be several degrees hotter than surrounding, better vegetated areas. While these large buildings may well be climate controlled inside, neighbouring residences will be affected and may need to use more air conditioning than otherwise, and may suffer noise impacts from the large air conditioners of the multi-storey buildings. This is a financial and</p>	<p>To complement the existing pattern of development, the Development Plan policy will require landscaped open space to continue to be provided. This will deliver a number of benefits including screening, habitat, landscape qualities and reduce urban heat island effect as well as provide space between buildings.</p> <p>No change is proposed as part of this DPA.</p>	<p>No change to DPA.</p>

		amenity cost for the neighbours. Further, SA's Strategic Plan has the reduction of Greenhouse Gas emissions as a target, yet densification of suburbs is likely to increase these emissions.		
		Heritage character of a suburb is not maintained by simply protecting the individual heritage listed buildings. The buildings form a streetscape and this creates the "character" of a place. Large multistorey buildings placed in close proximity adjacent to and behind small older buildings can completely hide the smaller buildings and can result in a radical alteration of the streetscape. The heritage character of their Listed building will be diminished as a result of the DPA.	The Conservation Zone ensures that the areas heritage values area not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions. For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.	
		Concerned the Minister seeks the removal of the non-complying height trigger. It gives the green light to build to any height they wish. Their buildings have already been adversely affected by merit based approvals, even with existing controls in place. Combined with the loss of plot ratio as a planning tool and "non-compliance" trigger would appear to allow large institutions and colleges to build as high and as densely as they liked with no consideration of whether the other residents of North Adelaide wished to see their "suburb" become a dense, tall "urban" area.	Noted in regard to the non-complying height trigger. The DPA proposes to retain the non-complying trigger for inappropriate height and land uses. The DPA proposes other policies to guide density and built form. Whilst plot ratio offers a quantitative number, when used alone, it does not provide a clear built form outcome. Sites could meet plot ratio however could have a poor building form and poorly address design criteria such as interface. Each of the Institution and College sites are proposed to be managed by series of site specific policies and a concept plan that enable compatible development. For detailed response, refer to 'Additional Matters and Investigations' paper on Fostering Economic Synergies	No change to DPA.
89.	John Harley Christ Church North Adelaide Inc. 62 – 72 Jeffcott Street and 35 Palmer Place, North Adelaide	Concerned about the amount of on-street parking, particularly in Palmer Place, occupied for long periods of time by students attending Aquinas College. There is little parking space for people attending church for Sunday services, weddings and funerals. During University vacations there is ample parking available. There does not appear to be adequate available on-	The Development Plan policy requires development to manage their transport impact. The Council Wide Development Plan policy on parking rates will continue to apply to new development. This includes parking which is designed to minimise the impact on the streetscape and adjoining neighbours. The locality is also well serviced by public transport reducing the need for vehicular transport.	No change to DPA

		<p>site parking notwithstanding the recent redevelopment of the College.</p> <p>If there are future plans for further development of the Aquinas site, the College should be required to provide adequate on-site parking similar to that undertaken by St. Mark's College in Kermode St.</p>	<p>For further detail, refer to 'Additional Matters and investigations' paper on Transport and St Ann's College.</p>	
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Summary and Response to Agency Submissions

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
1.	SA Power Networks Nathan Warburton Senior Real Estate Advisor	<p>SA Power Network may be impacted by the DPA in its capacity as operator of the State's electricity network. The following should be taken into consideration when progressing the proposal:</p> <ul style="list-style-type: none"> Any infill or greenfield development will require an upgrade of the electricity distribution network (which may involve setting aside land for a new substation) Prospective developers and those approving developments should consider the current network capacity, lead times in meeting any increased load demand and the requirement of the developer to contribute towards augmentation of the upstream electricity network along with funding costs associated with extension connection of electricity infrastructure specifically for their development. 	Noted. No amendments are necessary in response to this DPA. Due consideration is required following the submission of a development application.	No change.
2.	SA Water Paul Feronas Senior Manager, Treatment and Network Planning	<p>SA Water provides water and sewer services to the subject area. Provides the following comments for new developments or redevelopments</p> <p>The information in the DPA will be incorporated into SA Water's planning process. This will enable future long term planning for water security and infrastructure planning.</p> <p>Outlined requirements for the protection of source water. All applications needing an extension to water/ wastewater networks will be assessed on their merits. Where more than one development is involved, one option may be for SA Water to establish an augmentation charge for that area which will also be assessed on commercial merits</p> <p>Any proposed industrial or commercial developments that are connected to SA Water's wastewater infrastructure will be required to seek authorisation to permit the discharge of trade waste to the wastewater network.</p> <p>Industrial and large dischargers may be liable for quality and quantity loading charges.</p>	Noted. No amendments are necessary in response to this DPA. Due consideration is required following the submission of a development application.	No change

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
3.	Department of Planning, Transport and Infrastructure	<p>In brief, DPA have requested Amend the Zone to mention the Colleges and Institutions</p> <ol style="list-style-type: none"> 1. Reduce level of detail provided for each PDC and concept plan 2. Allow for expansion of contiguous allotments in Hill Street Policy Area 1 (St Dominic's, Helping Hand and Calvary) 3. Remove non complying trigger for height 4. St Ann's – Clarify vegetation principle 5. Kathleen Lumley – remove prescription in DCS 6. Amendment instruction detail to be provided 7. Mapping issues – provide in Adobe 	<p>The level of detail shown on the Concept Plans has been simplified to avoid duplication with Principles of Development Control.</p> <p>Expansion of contiguous sites would compromise the residential character and heritage value of adjacent land. Scope has been made in the DPA to enable intensification of uses on existing sites.</p> <p>Height has been retained as a non-complying trigger but set at a much higher benchmark.</p>	No change to DPA.
		<p>Supports the DPA however, have concerns with a number of policies that hinder the potential redevelopment of these sites and raises the following issues for further consideration:</p> <ul style="list-style-type: none"> • Retention of non-complying controls relating to building height and various land uses. • Retention of policies that limit the expansion of Helping Hand, St Dominic's Prior and Calvary Hospital sites. <p>The level of detail in the draft Concept Plans and associated PDC's which hinder the ability to deliver innovative and responsive design solutions for institutional sites.</p>	"As Above"	No change to DPA.
		<p>In reference to the Statement of Intent seeking the Minister's agreement to undertake a DPA to de-list a local heritage property at 136-137 McKinnon Pde. The Minister for Planning is of the opinion that it is unwieldy to require a 'spot rezone' style DPA process to delist a heritage listed property. The DPA process is an inappropriate and resource intensive tool to address the de-listing of a single property and more</p>	<p>Agreed. Consider de-listing as part of another DPA, for example the DPA for the former Channel 9 site.</p>	Not proceed further with the de-listing as part of this DPA.

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		appropriately addressed through a development application at a local level		
		<p>North Adelaide Historic Conservation Zone</p> <p>The continued use of the Historic (Conservation) Zone for the eleven sites has resulted in a somewhat restrictive policy approach to the future development of the sites.</p> <p>It is evident that the zone is still very heavily residential focused which is evidenced by the zone objectives, principles of development control and DCS.</p> <p>While Council has made targeted amendments at the Policy Area level to provide the necessary context for the future redevelopment of the individual sites, the Department still considers that the zone provisions also need to be amended.</p> <p><u>Action Required:</u> Council is requested to consider including additional detail to the DCS (and relevant objectives and principles) for the zone that provides greater focus on the redevelopment opportunities offered by the large institutional and college sites.</p>	<p>The DPA has been amended to ensure the DCS for the North Adelaide Historic (Conservation) Zone has been amended to incorporate a broader statement to reflect the important role and function of the health and education sectors.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	Revise DCS within the North Adelaide Historic (Conservation) Zone.
		<p>New Merit Policy</p> <p>Concept Plans are proposed to be introduced by the DPA and relates to each individual institutional and college site. These are considered to be very detailed and provide a number of features including the following:</p> <ul style="list-style-type: none"> • Sensitive heritage and character context • Important facades on site • Locations for low scale built form responding to site context • Locations for taller built form responding to site context • Low scale built form to respond to context views and vistas; and • Interface areas. <p>The PDC associated with these Concept Plans is also</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept</p>	Retain Concept Plans with amendments and Revise Desired Character Statements.

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>considered to be very prescriptive and provides far greater criteria than the existing principles.</p> <p>While Council (pre-consultation) made several modifications to both the Concept Plans and accompanying PDC to make the policy more streamlined and consistent between sites, the Department still considers that the policy response offered by Council is a matter that still requires further attention. It is still considered that some of the additional detail provided in the Concept Plan and relevant PDC would be better placed as guiding principles in the DCS for each Policy Area or removed altogether.</p> <p><u>Action Required:</u> Consider (where relevant) further reducing the level of detail provided in the relevant PDC for each Policy Area by:</p> <ul style="list-style-type: none"> • Relocating some of the criteria to the DCS for each Policy Area. • Removing criteria already addressed by the DCS. • Removing criteria already outlined or marked up on the Concept Plan. <p>Ensure consistency in the level of guiding policy provided (e.g. DCS / Concept Plan and associated PDC) for each Institutional site.</p>	<p>plans within the current Adelaide (City) Development Plan.</p> <p>It is also agreed that some criteria within the PDC's would be more appropriately located within the Desired Character Statements and where there is duplication they be deleted.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	
		<p>Site Limitation Policy - Non Complying</p> <p>Council in submitting the DPA for public consultation approval has removed non- complying triggers relating to site limitation policy for all but the following three institutional sites:</p> <ul style="list-style-type: none"> • Helping Hand Aged Care • St Dominic's Priory • Calvary Hospital <p>The following land uses are listed as non- complying if proposed for land not identified as being part of the above sites in the relevant Concept Plan:</p> <ul style="list-style-type: none"> • Consulting Room (Calvary Hospital) 	<p>For detailed response, refer to 'Additional Matters and Investigations' papers on Fostering Economic Synergies and individual sites.</p>	No change to DPA.

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<ul style="list-style-type: none"> • Educational establishment (St Dominic's Priory College) • Hospital (Calvary Hospital) • Nursing Home (Helping Hand Aged Care) • Research Laboratory (Calvary Hospital) <p>Council has advised that it has not removed the restrictions on site expansion for the above three sites as they contain land uses which are less compatible with the residential nature of the zone with the uses already being non-complying in the broader area.</p> <p>Council has therefore retained the restrictions on these sites by keeping the expansion of the sites to 'contiguous allotments' as non-complying development. Council has justified this by explaining that these policies are in place to ensure the retention of the core function of the HCZ for residential uses.</p> <p>Notwithstanding this, the Department considers that there should be a consistent approach with regard to all sites and no perceived 'winners' or 'losers' during the DPA process</p> <p><u>Action Required:</u> Remove the non-complying controls relating to expansion of land uses from the three institutional sites where they are developed on contiguous allotments.</p>		
		<p><u>Non-complying Development Land Uses</u></p> <p>A number of inconsistencies in the revised non-complying list have been identified, particularly in relation to new PA13.</p> <p>There are a number of land uses exempted from non-complying classification in PA13 that are not exempted in other Policy Areas containing similar institutional uses.</p> <p>Some of these uses include banks, conference centre, hospital, hotel, research laboratory, theatre etc. All of</p>	<p>Agree. Revise DPA to exempt uses such as a museum, leisure studio, day care centre, consulting room and recreation centre from the non-complying list in PA13.</p> <p>For detailed response, refer to Additional Matters and Investigations' paper on Fostering Economic Synergies and Archer West Policy Area 13.</p>	<p>Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>these land uses are also mentioned in PA13's DCS or PDC's. Also motel is listed as non-complying in PA13, inconsistent with the exemption for hotels.</p> <p>Multiple dwellings also continue to be non-complying in PA1 (Calvary Hospital / St Dominic's Priory / Helping Hand Aged Care) and PA12 (Kathleen Lumley College) but are merit in the other Policy Areas.</p> <p>Educational establishment continues to be non-complying in PA1 (Calvary Hospital / Helping Hand Aged Care), PA7 (Lincoln College), PA8 (St Mark's College), PA10 (St Ann's College), PA12 (Kathleen Lumley College) but are considered on merit in PA1 (St Dominic's Priory) and PAS (Aquinas College).</p> <p><u>Action Required:</u> Council to clarify its position with regard to these amendments to the non-complying land list</p>		
		<p><u>Building Height</u></p> <p>One of the key objectives of the DPA is for Council to remove policy inconsistencies and enable the expansion, upgrade and / or redevelopment of the 11 institutions and colleges. In this regard, Council has reviewed a range of non-complying triggers relating to plot ratio, building heights and the listing of educational establishment and multiple dwelling land uses.</p> <p>While Council has removed all non-complying triggers relating to plot ratios, it has not removed the height based non-complying controls. Instead Council has increased those building heights at which the non-complying triggers apply.</p> <p>While the increase in building heights is a positive measure, the Department still considers that the DPA would benefit from the removal of all height based non-complying controls to permit a more merit based assessment of building heights for each individual site.</p> <p><u>Action Required:</u> Remove all building height related non-complying controls in the DPA to be consistent</p>	<p>The height of buildings is an important part of the character of the North Adelaide Historic (Conservation) Zone.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p>	No change.

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		with the approach taken with the Capital City DPA and Residential Main Streets(Part 1)DPA.		
		<p>Hill Street PA1 - DCS</p> <p>It is considered that a broader statement(s) could be included at the beginning of the DCS to reflect the potential redevelopment of the Helping Hand, St Dominic's Priory College and Calvary Hospital sites in the Policy Area, similar to that provided in the Women's and Children's Hospital PA9 and new Archer West PA13 (Lutheran College).</p> <p>While Council have included additional amendments to the DCS for the Policy Area to recognise the future development of the Helping Hand and Calvary Hospital institutional sites, it has not provided additional commentary relating to the future development of the St Dominic's Priory College site.</p> <p><u>Action Required:</u> Consider adding additional detail to the DCS to guide the future redevelopment of the three institutional sites within the Policy Area in terms of:</p> <ul style="list-style-type: none"> Identifying the preferred mix of land uses for such sites. Identifying the opportunities offered by such large land parcels in encouraging a new urban or development form. <p>The proposed additions to the DCS are considered to be inadequate in this regard as they are still heavily focused on development limiting its impact on the character and heritage of adjacent sites. There is already considerable policy in the zone and Policy Area to address these concerns.</p> <p>Council is also requested to add an additional paragraph in the DCS relating to the future development of the St Dominic's Priory College site on Molesworth St.</p>	<p>The DPA has been amended to ensure the DCS for Policy Area 1 to incorporate a broader statement to reflect the role, function and potential development of the Helping Hand, St Dominic's Priory College and Calvary Hospital sites.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	Revise DCS within Policy Area 1.
		Replacement of PDC 8 of Lefevre PA7 - Duplication between PDC and DCS	The DPA has been revised to remove duplication between PDC 8 and DCS in PA7 and where	Revise PDC 8 and DCS within Policy Area 7

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>The policy contained in PDC 8 (b) (i), (v) is already referenced in proposed amendments to the DCS for PA7 (as outlined in Amendment Instruction No. 2). The duplication in policy between the DCS and PDC 8 is considered unnecessary.</p> <p>PDC 8 (b) (iii) would also be better relocated to the DCS for PA7.</p> <p><u>Action Required:</u> Delete PDC 8 (b) (i) and (v) as the matters identified are already referred to in the proposed DCS for the Policy Area.</p> <p>Council is requested to relocate the contents of PDC 8 (b) (iii) to the DCS for the Policy Area.</p>	<p>appropriate some of the provisions of PDC 8 have been relocated into the DCS for Ward Street.</p> <p>The DPA has also been amended to ensure the DCS for Policy Area 7 incorporates a broader statement to reflect the role, function and potential development of Lincoln College.</p>	
		<p>Cathedral PA8 - DCS</p> <p>It is considered that a broader statement(s) could be included at the beginning of the DCS to reflect the current role and future development of the St Mark's College site in the Policy Area — similar to that provided in the Women's and Children's Hospital PA9 and new Archer West PA13 (Lutheran College).</p> <p><u>Action Required:</u> Consider adding additional detail to the DCS to guide the future redevelopment of the St Mark's College site consistent with the response provided under Issue 1 above.</p>	<p>The DPA has been amended to ensure the DCS for Policy Area 8 incorporates a broader statement to reflect the role, function and potential development of St Mark's College.</p>	<p>Revise DCS within Policy Area 8</p>
		<p>Replacement PDC 11 Cathedral PA8 - Duplication between PDC 11 and DCS</p> <p>The policy contained in PDC 11 (b) is already referenced in proposed amendments to the Desired Character Statement for PA8. The duplication in policy between the DCS and PDC 11 is considered unnecessary.</p> <p><u>Action Required:</u> Delete PDC 11 (b) as the matters identified are already referred in the proposed DCS for the Policy Area.</p>	<p>The DPA has been revised to remove duplication between the PDC and DCS in PA8 and where appropriate some of the provisions of PDC 11 have been relocated into the DCS.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on North Adelaide's Acknowledged Heritage Value.</p>	<p>Revise PDC 11 and DCS within Policy Area 8.</p>
		<p>Stanley West PA10 - DCS</p> <p>Prior to consultation approval, Council relocated the</p>	<p>Agree. The DPA has been amended to delete this sentence from the DCS.</p>	<p>Revise DCS within PA10.</p>

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>following statement to the DCS from the merit based criteria for St Ann's College in proposed PDC8:</p> <p><i>"The retention of significant vegetation and additional high quality landscaping to soften the presentation of recent development is required in the further development of the site"</i></p> <p>DPTI questions whether the inclusion of this statement will conflict with the intent of Concept Plan Fig W/1 for St Ann's which shows an area of existing dense vegetation (corner of Brougham Pl and Melbourne St) as being the area identified for taller built form?</p> <p><u>Action Required:</u> Council to clarify its intent.</p>		
		<p>Finniss PA12 - DCS</p> <p>Prior to consultation approval, Council relocated the following series of statements to the DCS from the list of merit based criteria for Kathleen Lumley College in proposed PDC 11:</p> <p><i>"The development should be designed to incorporate sturdy red-brick work, expressed off-form concrete elements and tiled roofs. It should also be designed to reflect the pitched roofs, well shaded verandahs and wide eaves and maintain the internal quadrant design with landscaped openspace."</i></p> <p>DPTI questions whether the relocation of all of this detail to the DCS is necessary given that the lead in statements at ready indicate that any redevelopment of the college should reinforce the Dickson Platten Masterplan and envisages that development should complete the principles of the Dickson Platten Masterplan.</p> <p>The additional material provided here is considered to be overly prescriptive and restricts the ability to design in context.</p> <p><u>Action Required:</u> Remove any overly prescriptive policy material from the DCS relating to the future development of the Kathleen Lumley College.</p>	<p>Agree. Revise DPA.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper on Kathleen Lumley College.</p>	<p>Revise DPA.</p>

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>Various anomalies / errors in the Amendment Instructions Table</p> <p><u>Action Required:</u> Make appropriate changes to the Amendment Instructions Table.</p>	Noted.	Revise Amendment Instructions table.
		<p>Final DPA mapping</p> <p>The mapping changes in the DPA are considered suitable for agency / public consultation.</p> <p>If existing maps are to be amended a part of this DPA, then adobe illustrator versions of the maps must be requested from the department, amended by Council or their consultants and provided to the department prior to approval.</p> <p><u>Action Required:</u> Council to note these comments.</p>	Noted.	No change to DPA.
4.	Rachel Sanderson MP State Member for Adelaide	<p>Received contact from a number of interested parties including constituents, the North Adelaide Society and representatives from the affected sites.</p> <p>Concerns from residents include:</p> <ul style="list-style-type: none"> • Inconsistency of development opportunity for institutional zones compared to their neighbours i.e. fairness & inconsistency • Another State Government forced change i.e. top down approach • The ability to include properties outside the proposed boundaries should be developed within existing boundaries"; this is too open and should be changed to 'must' or require consultation and approval with neighbours and others that would reasonably be affected by the changes. • Potential loss of heritage due to changes made last year which no longer allow public scrutiny or appeal for partial demolition of State heritage listed homes. The belief is this may affect 16 properties within the 11 institutional zones. • Minister making further changes after the consultation has finished therefore not allowing 	<p>Noted.</p> <p>A series of amendments have been made in response to the individual submissions that cover the general concerns listed by the State Member for Adelaide.</p>	Revise the DPA in accordance with 'Additional Matters and Investigations' paper.

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<p>community consultation and potentially meaning the current consultation was just for show or to tick a box.</p> <ul style="list-style-type: none"> • Reduction in the notification given to neighbours and nearby residents regarding developments within the institutional zones. • Higher density concerns regarding increased traffic and parking. Also concerns regarding infrastructure such as water, power, gas & stormwater. • Car parking is a major concern and whilst most zones include "...new development should provide on-site car parking to cater for any increased demand", the word 'should' should be changed to 'must' otherwise it can easily be ignored. There are already many parking issues throughout North Adelaide, the last thing we need is more pressure from more demand. Also there is a preference for car parking onsite to be at basement level. • Minister may bring changes in on an interim basis <p>Concerns from Institutions include:</p> <ul style="list-style-type: none"> • The use of levels and height e.g. for an educational facility of 3 stories or 9m height is prescribed whereas many believe a height of 10.5m (or greater) would be more appropriate for general learning areas e.g. dining halls, gymnasium etc. Preference would be that applications are considered on merit. • Education would be non-complying for residential colleges. Currently tutoring is undertaken at all Residential Colleges with the potential to expand this in the future e.g. they could teach English as a second language on site to international students. • Inconsistency of heights e.g. tapering makes sense near low scale residential housing but not next to a large scale developments such as that proposed on the catalyst site bounded by O'Connell, Ward and Brougham streets (next to Lincoln College). • Believe it reduces their flexibility to regenerate. • Prefer less prescriptive plans 		

Sub No.	Agency name/Address/ Contact Person	Submission Summary	Comment	Council Response
		<ul style="list-style-type: none"> • St Dominic's would like to be able to expand outside the current boundaries and have them changed to educational zones. (not sure how residents would feel about this, would depend where and current use of land purchased) • Melbourne St currently allows 14m height for mixed used; however in the new zone St Ann's which borders Melbourne Street would only be allowed 12m which is inconsistent. 		

Item 4 - Attachment D

Attachment B – Summary and Response to Public Meeting Submissions

21 submitters requested to be heard, and therefore a public meeting was held on 18 November 2015.

Sub No.	Name of Respondent	Summary of Verbal Submission/Issues Raised	Council Response
1.	Louise Guthleben (refer to written submission no. 85)	Has been a resident in North Adelaide for 6 years. It would be a benefit to the State and beneficial to the universities if they were able to increase their ability to accommodate more students. As an educator it is extremely important to look at North Adelaide as a whole and the students are our future and important for the State. Concern at the number of empty shopfronts in North Adelaide and that a build-up of more people would be better for the economy and for North Adelaide in general	Noted. No change to the DPA.
2.	Simon Williams (refer to written submission 85)	Health is very important to the community and an important economic driver. From overseas experiences we are very fortunate in Adelaide to have the quality of life that we do, but the density of living in Adelaide is extremely low and we can accept and tolerate a greater density and activity in North Adelaide without losing the great amenity we have in our society given proper engagement by Council and other authorities in issues around parking etc. which are issues well covered in the proposal.	Noted. No change to DPA.
3.	John Cruickshank (27 Buxton Street, North Adelaide (refer to written submission 24)	He lives adjacent to the Helping Hand Nursing Home in a single storey heritage listed property, like most of the properties in that area. He has concerns with 4 storey structures being built, concerns about overlooking, and that the Development Plan does not specifically state how close these structures could be built to the boundary, posing the question what is considered a reasonable setback? Car parking is already in quite high demand in the area, staff and visitors generally park in the street with adverse effect on parking for residents at the east end of Buxton Street and the Development Plan is not specific on how much additional parking would have to be provided were further development to the Helping Hand Nursing Home to happen and sought an assurance that a significant amount of additional car parking would be provided on site. An increase in delivery vehicles/rubbish collection would adversely affect the residents on the western side of the Helping Hand Nursing home and hopes that measures will be put in to limit the impacts upon adjacent properties. Responded to questions from Councillors in relation to: > Prescriptive provisions in relation to setbacks of structures. > Notification and Consultation papers.	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 24)

4.	Chris Vounasis, Future Urban Group, on behalf of Lutheran Church of Australia Land Holdings (refer to written submission 29)	<p>For 160 years education is the primary purpose of the Lutheran Church of Australia Land Holdings (LCA).</p> <ul style="list-style-type: none"> · Since the end of the 19th century, the site has largely stood apart from its secular environment and every 20-30 years since colonisation, the site has experienced major building works, alterations or renovations and the LCA is once again in that part of the cycle, planning to ensure its long term presence at its location. · The LCA has embarked on a comprehensive masterplan for three interrelated sites in Archer and Wards Streets, total landholding of these properties of around 25,000 square metres, significant in terms of metropolitan Adelaide but more particularly North Adelaide and the City. The LCA masterplan seeks to renew and rationalise its national administrative and seminary facilities, to ensure its financial viability the LCA has a vision to create an integrated and responsive community, educational, cultural and residential precinct that secures long term presence of and historical significance of the LCA at this location. · Whilst the LCA Masterplan is in its preliminary stages it has become apparent that a financially viable project would constitute a non-complying development under the current Historic Conservation Zone, despite there being noncompliant elements currently on the site relating to building height, plot ratio and land use. The LCA commends the Adelaide City Council for proposing a number of changes to the Historic Conservation Zone which will greatly assist the LCA in achieving a sensible and contextually responsive masterplan development of its land. · The LCA fully supports the creation of a new Archer Street Policy Area 13 encompassing all of its land, however to promote the orderly development of its eastern most land holding identified as Area 3 in the submission it will still be affected by two zones namely the new policy area under the Historic Conservation Zone and the Mainstreet O'Connell Zone. · To ensure a successful built form outcome the LCA recommends that the Area 3 landholding be included entirely within the Mainstreet O'Connell Zone or the LCA landholdings be identified as the only exception to the non-complying height trigger in Policy Area 13, or that the non-complying height trigger be removed entirely. · In relation to the non-complying height trigger, a letter from Minister Rau to Council dated 21 May 2013 regarding the then Draft Residential and Mainstreet DPA recommended that the Council consider removing the non-complying policies and rely on a merit based planning framework that would support development outcomes and respond to its local context. The LCA options put are consistent with these comments. · With regard to land uses those uses desired for the Archer West Policy Area are supported by the LCA however a museum in Policy Area 13 is non-complying 	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 29)
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		<p>despite the Desired Character Statement describing it as an appropriate land use. The LCA recommends that Policy Area 13 also be identified as an exception to avoid a contradiction and to support the LCA ambition to establish an internationally significant Lutheran museum or archive on the site.</p> <ul style="list-style-type: none"> · In relation to Concept Plan Figure 13.1 the general approach of reinforcing the lower scale built form along street frontages to respond to existing context and the sizing of taller built form elements towards the centre is sensible and responds to scale of the LCA landholdings. Whilst LCA does not oppose this approach, the LCA believes there is a conflict between the potential application of PDC8 and PDC13 as currently worded. · LCA recommends that PDC13 be reworded to achieve consistency with PDC8 and referenced that the submission contained additional wording to address the issue. · The LCA questions the purpose and merit of a vista from Archer Street to the rear of a state heritage place fronting Ward Street, such a vista is and will continue to be interrupted by existing buildings and structures. The desired view or vista could only be achieved if the state heritage place and the LCA land holdings were under the control of one landowner and only where the existing buildings and structures including boundary fencing were removed to achieve an uninterrupted view. This is highly unlikely and it is the LCA's view that this desired view or vista in the concept plan will create an unnecessary development constraint. · The LCA generally supports the DPA subject to the matters expressed in the presentation and those detailed in the submission, believing that the DPA with the recommended changes will assist in the LCA to achieve a sensible contextually responsive masterplan development. 	
		<p>Chris Vounasis responded to questions from a Councillor in relation to:</p> <ul style="list-style-type: none"> · The retention and restoration of heritage buildings on site and the intention in the masterplan for the Library building which is not listed. · The status of the masterplan. 	Noted.

5.	<p>Jim Howard, (Chairman of the Board of St Dominic's Priory College) on behalf of St Dominic's Priory College (139 Molesworth Street, North Adelaide) (refer to written submission 31)</p>	<p>St Dominic's Priory College is an independent catholic girls college which has been established and developed by the Dominican Sisters of North Adelaide who originated from Stone in England.</p> <p>St Dominic's is owned and managed by the Dominican Sisters today and has been continuously operating in North Adelaide for over 130 years. Today it is one of the most sought after schools for a quality education for young women. The DPA should ensure that this provision of education services will continue to be provided for years to come and that St Dominic's Priory College can develop in the same ways as other quality institutions.</p> <p>Education in the primary and secondary areas is continuously evolving, with new national curriculum requiring additional technology subjects at the moment which then require additional classrooms for example for computing and 3 dimensional printing equipment.</p> <p>South Australia is the only main land state which is yet to adopt the shift of year seven from primary to the middle school section in secondary schooling. The South Australian Commission for Catholic Schools has recently endorsed the shift of year sevens to the secondary level commencing in 2019 and 2020. St Dominic's currently has one year 7 class and this shift of year seven will require an additional two classes of year 7's, requiring the need for new classrooms and associated amenities. At the same time there is the need to upgrade classrooms and facilities and this will require additional space to accommodate a refurbishment program.</p> <p>St Dominic's has been operating for 130 years in the Hill Street, Molesworth Street and Barnard Street block as an educational institution.</p>	Noted.
		<p>The Adelaide City Council has imposed a Historic (Conservation) Zone which is for low density residential use and historic conservation over the area, the rights of all the long standing significant non-residential uses have been overridden with the College sitting uncomfortably in the Zone even though it was there prior to the introduction of the Zone. The existing policies of the North Adelaide Historic (Conservation) Zone constitute a significant constraint on the ability of St Dominic's to respond to change and redevelop.</p> <p>The existing zoning is totally inappropriate for St Dominic's circumstances as it does not reflect the nature, function or role of St Dominic's Priory College. The existing Zone has been superimposed over the long standing existing use and that arrangement does not and never did fairly and evenly provide for the future reasonable needs of St Dominic's.</p> <p>The DPA provides an opportunity to develop a specific zone suited to St Dominic's. Its site together with other land approximate to its existing site should be placed in some form of institutional land use zoning, such approach would be consistent with the Institutional St Andrews Zone and the approach of the State Planning Policy Library for community zones. This would allow two long standing existing uses – residential and educational in the zone. Planning policies for adjoining areas</p>	<p>The purpose of the H(C) Z is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C) Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C) Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C) Z and respective Policy Areas.</p>

		<p>should be appropriately modified to allow for educational uses.</p> <p>St Dominic's sees the concept plan in the DPA as an important issue in the proposed amendments. The concept plan when considered with the Principles of Development Control 10 is very prescriptive and seriously constrains St Dominic's reasonable development opportunities. The concept plan for example seeks to retain ageing 1970's cream brick buildings and other old classrooms. This and other issues are clearly demonstrated by the architect's report in the submission.</p> <p>The concept plan seeks to confine St Dominic's to its existing boundaries, like any large institution that had reasonable redevelopment opportunities; it needs to develop outside its existing boundaries. St Dominic's currently owns land outside the existing boundary as delineated in the concept plan and should be allowed to use this and other land approximate to the site.</p> <p>St Dominic's requests Council to read their submission and attached architect report and review the DPA in St Dominic's favour to assist the only reception to year 12 school in North Adelaide.</p>	<p>The Concept Plans have the same status as any other principle and would be considered on balance with all other provisions in the assessment of any development application.</p> <p>The Concept Plans are considered to provide a useful visual illustration of site opportunities and are to be read in conjunction with the supporting written policy.</p> <p>It is recommended the Concept Plans be amended to identify where development is envisaged rather than matters for consideration such as sensitive heritage and character and important facades.</p> <p>It is intended Low Scale Built Form, Taller Built Form and interface arrows will be retained so that the concept plans are consistent with the concept plans within the current Adelaide (City)</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>
6.	<p>Brian & Maureen Arnott (36/103 Strangways Tce, North Adelaide) (refer to written submission 32)</p>	<p>They have been residents in North Adelaide on the corner of Hill Street and Strangways Terrace for 15 years approximately, living in the big blond apartment block on the corner, the sort of place that would not hopefully be built today as it is built onto the boundary and the street with all the consequent problems of 5/6 storey building, 50 odd residents, all extra parking and noise a nightmare for neighbours. We are endeavouring to make sure that this is not made worse by objecting to the pressure increases in traffic, garbage collection, contractors, builders etc. which comes with redevelopments of Calvary Hospital and St Dominic's School.</p> <p>Already there are inordinate traffic problems for ourselves and for the staff at both the school and parents at the school and the visitors to the hospital, the hospice especially. There is no space to build new car parks.</p> <p>The potential increase of the physical size of Calvary and increased traffic will result in increased parking requirements. Simple logistics are a nightmare for a contractor to come to a house in North Adelaide now. In conjunction with St Dominic's increasing the size of the school this can only get worse, the current drop off system for St Dominic's does not work, asking what will happen with an increase of students?</p> <p>7000 people live in North Adelaide and seem to be in the thrall of a handful of colleges and hospitals and it is time that this is put into context with the number of staff, administrative members of the schools and hospital, students and beds. It is</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 32)</p>

		<p>a nice quiet pleasant place to live and there is a need to continue to coexist with what we have.</p> <p>The overall size of this entire project is a complete anathema, it seems to be a cartel of colleges and hospitals, who are happy to ride roughshod over whomever, whatever, whenever.</p> <p>Maureen Arnott:</p> <p>We also live opposite the North Adelaide Golf Course and golfers need parking space for long periods of time to complete their rounds putting more pressure on parking, there really is nowhere to park and extra traffic will make a situation worse.</p> <p>Brian Arnott:</p> <p>Parking has been exasperated by the 2 hour event parking generated from the Oval, the Oval seems to have fitted in fairly well generally within the scheme of things but you cannot escape the fact there is nowhere to bring cars to and ideally people will have used public transport.</p>	
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7.	Jim Howard (Chairman of the Council of St Ann's College) (refer to written submission 34)	<p>St Ann's College is a trust, it's affiliated with all three universities receiving no funding from them, neither does it receive any State or Federal Government funds nor from any church organisation, it is non-denominational, it relies on student fees and its benefactors in order to operate, it's a true not for profit organisation. It was formed in 1939 as a women's college. Its founding purpose was to provide undergraduate residential accommodation for rural and regional women from South Australia and became co-residential in 1973.</p> <p>Many of the students who come to study are young, some as young as 17, they may be the only student from their school coming to university, some 44% of students who come to St Ann's are the first in their family to go to university and need a safe, friendly and supportive environment with up to date facilities. The University Residential College of St Ann's provides this environment with academic tutoring, educational life skills programs and leadership opportunities.</p> <p>The college has been operating since the 1940s as a residential college and been very successful. Many fine individuals have gone on to be leaders in the community. Today some 30% of St Ann's students are studying health sciences such as medicine, dentistry, pharmacy, physiotherapy and other health science courses. Many of these young people will return to rural and regional areas to provide these services and become leaders in their communities.</p> <p>St Ann's College was founded by the gift of a stately home in Brougham Place, the Council of the College has maintained this and other buildings whilst expanding the student accommodation and facilities, maintaining the gardens to create a green space for students.</p> <p>Educational methodologies for teaching are constantly changed over time. St Ann's College has upgraded student accommodation with nearly all rooms being single rooms with en-suite bathrooms, individual air-conditioning, and high speed internet access.</p> <p>Today education encompass collaborative team learning and studying, the College needs to continually review and enhance the facilities to keep up with these trends and other international standards in the provision of educational services.</p> <p>The College is currently restricted by planning rules which are more appropriate to low level private residences.</p>	Noted.
		<p>The comprehensive submission to the DPA requests:</p> <p>That St Ann's College be placed in a separate institutional type zone for educational use or a community zone that allows both educational and residential uses – both two long standing existing uses. Planning policies for adjoining areas should be modified to allow for student accommodation and educational establishment type uses.</p> <p>That St Ann's College be given reasonable development opportunities to facilitate orderly growth, given opportunity to develop beyond existing boundaries and not</p>	<p>The purpose of the H(C) Z is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C) Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C) Z as opposed to</p>

		<p>be constrained by the concept plan that sits within the DPA.</p> <p>The height restrictions currently in place are designed for residential houses and propose the height be increased to allow for additional height especially for dining rooms, common rooms and recreational spaces and believe that a 12 metre ceiling height for four levels in a residential college is not adequate, and should be at least 16 metres on 4 levels.</p> <p>On reviewing some of the 90 submissions to Council on the DPA, it appears that some residents also want 45 degree site lines preserved, it is my understanding that the traditional approach to design is to preserve views square to the property line.</p>	<p>another zone is considered minimal. Due to the heritage values of North Adelaide, the same sort of policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C) Z and respective Policy Areas.</p>
		<p>The proposed DPA introduces more restrictions on land use by removing educational activities from the land use provisions and restricts the Colleges to student accommodation only.</p> <p>The University Residential Colleges are much more than accommodation it's supporting the development of our young leaders of tomorrow and educational activities should remain in the current plan uses.</p> <p>To correct a misunderstanding by some residents, the Principal and her husband reside in a flat in the middle of the College. There has always been residential Principal on site since inception.</p> <p>St Ann's has been on the corner of Brougham Pl and Melbourne St for around 70 years, most local residents would have been aware of its existence before purchasing their properties.</p> <p>St Ann's provides a vital service to the South Australian community especially rural and regional families and is an important linkage between the city and the country.</p>	<p>Noted. A number of associated uses, such as educational functions, are considered to be ancillary to the primary use as a student college.</p>
		<p>St Ann's College requests Council to consider the proposal submitted and asked for a fair and transparent discussion regarding the College's suggestions.</p> <p>Jim Howard responded to questions from Councillors in relation to:</p> <ul style="list-style-type: none"> • Educational activities sought that the draft DPA doesn't allow. • Whether it is proposed to redevelop the tennis courts and the garden. • The site line proposal in the submission. • Impact of current height limits and restrictions and proposed height and levels. 	<p>Noted.</p>
8.	David Hutchinson (Access Planning) on behalf of Helping Hand Incorporated (refer to written	<p>Extended on to land adjoining Helping Hand and recognising that a number of properties around Helping Hand are either heritage listed or contributory items. There is no reason why this sort of accommodation could not be extended to the adjoining properties and still maintain the historic character and streetscape qualities of the adjoining housing development, so small scale development within</p>	<p>The intent of not allowing for extension of the Helping Hand site is to ensure the heritage value of the zone is maintained. It is acknowledged however that the DPA needs to reflect the long term strategic needs of the colleges and institutions. The DPA does not</p>

	submission 40)	<p>the adjoining properties should be able to be accommodated without effecting the character or amenity of those adjoining properties.</p> <p>There are some clear economies of scale to Helping Hand in being able to extend their accommodation alternatives within close proximity to their existing facilities. As indicated in the submission, there is no reason as such that development cannot fit in with the fabric and fine grain character of development adjoining the Helping Hand site.</p> <p>Helping Hand asks that the term 'nursing home' be deleted from the list of non-complying land uses in the Historic Conservation Zone and similarly ask that the term 'office' in respect to Helping Hand also be removed from the non-complying use. There is no reason why office accommodation and administrative activities associated with Helping Hand cannot be contained or accommodated within any of the adjoining properties. Helping Hand already occupy a heritage listed building on their property which they use for administrative purposes.</p>	<p>actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>Agree. Revise DPA in accordance with 'Additional Matters and Investigations' paper.</p>
		<p>A suggestion that limited exclusion or exception be provided for offices and that would be where the offices is in association within existing aged care and accommodation facilities operated by Helping Hand as identified on figure H.</p>	<p>Noted. A number of associated uses, such as offices, are considered to be ancillary to the primary use as a student college.</p>
		<p>Like a number of other representors Helping Hand is keen to see the building height trigger removed for non-complying status. It is a fairly blunt tool in terms of looking at how a building fits in with the character of the area believing it does not give recognition to design options to allow buildings to increase in height without necessarily increasing the bulk and scale of the building and is consistent with the recommendation of the Minister.</p> <p>David Hutchinson responded to questions from a Councillor in relation to:</p> <ul style="list-style-type: none"> • Expansion and retaining character. • Height parameters and flexibility 	<p>The height of buildings is an important part of the character of the North Adelaide Historic Conservation) Zone.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p>
9.	Michael Osbourne (Town Planning Consultant, Fyfe) accompanied by Linda Bastic, CEO of Lincoln College (refer to written submission 42)	<p>Lincoln College is on a 1 hectare site between Brougham Place and Ward Street, established since 1952, and is presently accommodating 215 students. Its existing use is primarily student accommodation but there are also ancillary education support services.</p> <p>It is important to recognise that there are four state heritage buildings on the Brougham Place frontage so the existing use of the site allows the active use of those particular buildings.</p> <p>The College intends over time to grow the academic program on the site and would encourage reinstatement of the educational activities as being consent of use.</p> <p>The long term sustainability and viability of the College requires it to attract</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 42)</p>

		<p>students that's part of the business model so the viability is enhanced if there are more students to be accommodated on the site.</p> <p>Overall the College is supportive of the intent of the DPA. There are some advantages and improvements to the existing policy, increasing the building height is one major advantage but share the opinion that the non-complying trigger is a blunt tool and defer to the advice of the Minister on that particular issue.</p> <p>The College is part of the educational sector, Council's own Strategic Plan refers to some of the statistics in relation to that, thousand students enrolled in the City and international students are estimated to input \$700 million per year into the economy. International students are a niche market and important market and they have some demands in relation to accommodation.</p> <p>Lincoln College has been established for many years and need to continually evolve and adapt to demands. The need to provide accommodation as attractive to the market is very important yet is a very different scenario to being residential accommodation within the southern part of the City of Adelaide in terms of a new facility when you are looking at reuse of buildings there is a challenge and when you are looking at sites where there is state heritage again it's a challenge.</p>	
		<p>Lincoln College is keen to make sure that any policy impediments are minimised, at the same time ensuring that and respecting the fact that the site is within the historic (conservation) zone.</p> <p>The main issue is the narrow range of land uses and again that is a function of being in a historic conservation zone. The education establishment land use definition we suggest needs to be included. Also in the scenario if the College did not exist you need to ponder under the proposed development plan what uses the site could be used for with state heritage buildings on there.</p> <p>A need for some flexibility in terms of synergistic uses with education would be desirable as it gives you flexibility not just for supporting the College but the long term potential for the site.</p> <p>DPA's are time consuming exercises and policies are not changed every week so now is the opportunity to make sure that those uses support the College. For example tutoring facilities as part of the educational facilities and other forms of accommodation could be considered.</p>	<p>Agree. The intent was to retain the existing land use. i.e. 'be associated with student accommodation and educational uses'. Revise DPA in accordance with 'Additional matters and Investigations' paper.</p> <p>If the College ceased to exist, the DPA retains the existing policy framework. Any future change of use would be expected to meet the broader policy area desired character.</p>
		<p>In wrapping up, the non-complying trigger has been mentioned, shared some issues and concerns in the relation to the concept plan and some definitions in that which refer to the scale, lower and high scale would be useful, noting that this particular site has four storey building built to the road frontage, so the concept plan is at odds with what is on the site.</p> <p>Educational expansion - additional activities proposed to the current.</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 42)</p>

		<ul style="list-style-type: none"> • Other types of accommodation and adjoining use. • Additional accommodation for students and policy use for the site. • Building storey considerations and site master planning. 	
10.	David Fox (73 Mills Terrace, North Adelaide) (refer to written submission 45)	<p>He is a long term resident of Mills Terrace in excess of 35 years in the block in Mills Terrace between Molesworth and Buxton.</p> <p>He is primarily concerned with the St Dominic's Development, indicating the document circulated in relation to St Dominic's said in the key policy proposals - the DPA allows the continuation of education activities from early childhood to secondary education, there is no early education at St Dominic's at the moment. There is a proposal that's been put around for 140 place early childhood thing which will be catastrophic in relation to increased activity of people dropping them off.</p> <p>The bizarre thing was the "Have Your Say" documents obviously instituted by Council but were prepared by students at St Dominic's, there were about 140 submissions, one of the questions was how can Council assist St Dominic's? and it came up with all sorts of bizarre things – like give us an oval, give us some parking, fix the toilets, and it gave a colossal insight into just how run down St Dominic's is. The architects in their submission really underline exactly how run down St Dominic's is.</p> <p>St Dominic's with 643 students primary to year 5 is not economically viable, they also comment they don't have this and need to go elsewhere. They have failed with the masterplan and haven't really assessed it. They own another property 112 Barnard Street situated next to the medical facility and doctors and they bought that on the 23rd of April 2010 for \$1.85 million without a mortgage. That resulted in probably in \$1739 per square metre, properties in North Adelaide at the moment are selling at around \$3000 per square metre irrespective of what is built on them. They are expecting to get for the property that is available at the moment \$3100 per square metre. So that shows exactly the financial crisis that St Dominic's is in. So St Dominic's is looking now to having a separate zone, chuck out all the other things, go as high as you like.</p> <p>St Dominic's has a staff list as at January 2015 of 88 staff without providing one on-site car park. The streets around St Dominic's are chaos at drop off time and pick up time, people park anywhere they like, it is only a matter of time before there is a death.</p> <p>His detailed submission includes some light hearted view on what should be done on the parking and you will see in the St Dominic's submission that they don't want any additional development subject to providing off street parking.</p> <p>It is time St Dominic's considered co locating part of their campus, splitting their campus because they don't have an oval, don't have technology classes, the</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are part of the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce further new uses on new sites but promotes constrained growth to provide clear future parameters for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue to enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p> <p>For detailed response, refer to 'Additional Matters and Investigations' paper.</p>

		<p>existing buildings don't have any disabled access now they have been able to remove that.</p> <p>That he urges Council to not water down what has been prepared in the DPA to take account of what St Dominic's says.</p>	
11.	Graham Burns (Master Plan) on behalf of John Culshaw (refer to written submission 54)	<p>His client has entered into a contract to purchase the Channel 9 site at Tynte Street, North Adelaide and that the submission being made is that, unique as that piece of land is, it is not part of the DPA.</p> <p>The site is 7000 square metres of development potential and its potential is limited by the very constraints mentioned in relation to height, plot ratio and land use.</p> <p>His client is in a unique position to have entered into a contract, very keen to redevelop the site, very keen to bring to an end the commercial use of the site which has been there for almost 60 years since 1959 and return it to a residential use, and restore and adapt the heritage buildings on the site (one a state heritage listed building, another a local heritage listed building) but fortunately requires a rezoning. In addition he would like to restore the cottages facing Wellington Square which are not heritage listed but nevertheless would like to keep, restore and adaptively reuse the cottages.</p> <p>His client has some desirable plans for the site, with the development plan being as it is acts as a real constraint to its future development.</p> <p>His client seeks that his position be brought to the attention of Council and for Council to consider whether it is possible to either include this site in the Institutions Zones DPA or initiate a DPA for the site that will facilitate its worthwhile development.</p>	Council will review this matter separately. The inclusion of the former Channel 9 site into the DPA would be outside the scope of the DPA. This matter is being separately reported to Council for direction.
12.	Hannah & Andrew Andreyev (61 Buxton Street, North Adelaide) (Refer to written submission 58)	<p>They own the property at 61 Buxton Street, North Adelaide which is a direct neighbour of the Helping Hand Centre and shares a boundary of approximately 68 metres with the Helping Hand. The Helping Hand has been a very good neighbour and made a lot of effort over the years to make sure their activities don't adversely affect the enjoyment of our property.</p> <p>He owns a business with shopfront in North Adelaide, have an interest in three properties in North Adelaide, owning one along with a commercial property in the City of Adelaide so have a vested interest in making sure both Adelaide and North Adelaide remain and continue to be vibrant places to live and work.</p> <p>He was born at Calvary Hospital, two of their his children were born at Calvary Hospital, his mother and grandpa died in the hospice, his father attended St Mark's College, having a long history with North Adelaide and its institutions and respect and support the institutions represented tonight and that his comments are not meant to reflect adversely on those institutions.</p> <p>He sought good representation from his Councillors and quality administration from his Council as in his view the amendments present neither of these things. He</p>	Noted. Many matters raised are observations rather than aspects of the proposals in the DPA.

	<p>presents to ensure that he has not missed anything, that these are not poorly conceived or poorly prepared proposals that favour the few at the cost of the many people who call North Adelaide home.</p> <p>The proposed amendments confer the special treatment for a small number of land owners.</p> <p>The proposed amendments take the development of these sites further out of step with the constraints that otherwise apply to other land owners in the area.</p> <p>There is no clear policy behind this special treatment that he could see in the materials given to him as a resident.</p> <p>There is no evidence or analysis regarding the importance of these institutions to North Adelaide, whilst he thinks they are important and loves the fact that there are students in the area and likes the fact we have a local hospital, there was not one thing in the material received as a resident that acted as a proper analysis about why these changes need to be and how they will promote the health and education sectors and the use of these sites within his neighbourhood. Believing it to be amateur hour.</p> <p>His family is not generally opposed to the development of North Adelaide however are horrified at the misconceived and poorly supported nature of the proposed amendments with the understanding that a lot of the materials put before him as a resident were put before him without proper consultation with the institutions themselves and is evident by some of the presentations and lack of detail.</p> <p>The lack of clear policy rationale and supporting analysis leads him to conclude that the owners of one or two of these sites where there is residential development opportunity have sought to disguise their profit motive in the interests of the health and education sectors.</p> <p>The institutions that he respects have been taken advantage of by this process.</p> <p>His particular interest in where the motivation from Council or the State Government has come from to propose these amendments of which he intends to find out.</p> <p>The Planners and the people behind these things are once again lamenting the pesky residents of North Adelaide, those same pesky residents that have blocked the Le Cornu site on a number of occasions and then continually bang on about the heritage value of our neighbourhood.</p> <p>A question for Councillors, to think carefully about who they represent do you represent the seven thousand people who sleep in their homes with their families in North Adelaide and the small and medium size businesses that run their businesses and employ thousands of people in the area or do you represent the commercial interests of a few property developers and special interests of certain landlords.</p> <p>Council needs to justify why we subsidise these institutions with our rates but more importantly justify why we should subsidise these institutions with the amenity of</p>	
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		our community through poor land planning rules.	
13.	Geoff Rischbieth (306 Ward Street, North Adelaide) (refer to written submission 60)	<p>To clarify, the first notification of this whole thing was when Council visited him in late October/November having not received any notification in the mail and is one of the houses extremely affected by this large institutions and colleges DPA.</p> <p>He has lived in North Adelaide for over 45 of 56 years, born at Memorial Hospital, lived away for about 9 years when he finished University and has always valued the ambience, history, the green space, the proximity to the City and diversity of people and buildings that the suburb displays.</p> <p>He feels like he is the silent majority of North Adelaide residents, who are happy to see development occur in the suburb as long as it is appropriate with respect to streetscape, maintains the rights of neighbouring properties with respect to overshadowing and overlooking, that there is provision of adequate parking, an acceptable amount of open space in the site and that any development is sensitive to the historical nature of the area.</p> <p>Most of the submissions have issues with certain parts of the DPA with a fairly consistent number of concerns being regularly mentioned. These included car-parking, overshadowing, overlooking, access for deliveries and issues with the removal of waste.</p> <p>He finds unsettling that the submissions from many of the Colleges have been prepared by Planning Lawyers or Planning Consultants. An expensive process and highlights that these organisations who are agencies of various Religious organisations or maybe not for profits dealing in health, aged care or education are in reality simply businesses now. He worries that they possibly don't have any real empathy with the historical suburb and no real concern for the residents either.</p> <p>His property is part of the North Adelaide Historic Conservation Zone – Hill Street Policy and has always been happy to co-exist with Calvary Hospital. If it was not for him the Mary Potter Hospice would probably not have been built back in the 70's. He is concerned that there is already insufficient parking for staff, visitors, maintenance service providers who regularly work at the site, let alone people who want to visit the residents of the surrounding streets as there is no parking. It is imperative that any new development incorporates onsite parking to accommodate visitors, service vehicles and staff. More retail or café tenancies will require extra parking. Having been in retailing for over 30 years understood the need for space for delivery vehicles. There needs to be somewhere for commercial waste removal vehicles to operate safely and without disrupting the flow or disturbing residents and patients. These needs all increase with extra consulting rooms, increased patient bed numbers or enlarged day surgery suites.</p> <p>He is concerned that if the building on the eastern boundary of the Hospital is allowed to rise to its proposed height, overshadowing and overlooking will occur. He strongly advocates a compromise that the easterly structure that contains the Mary Potter Hospice, Operating Theatres and Day Surgery suites should remain at</p>	<p>Noted. Many of the matters raised are observations rather than aspects of the proposals in the DPA.</p> <p>Revise the DPA in accordance with the 'Additional Matters and Investigations' paper that modifies setbacks shown on the concept plan from the eastern side boundary of the hospital.</p>

	<p>its current height and any increase should occur only to the west of that building and with the same setbacks from Strangways Terrace to minimise overshadowing and overlooking.</p> <p>Neighbours already experience noise from the Hospital. The Hospital driveway at the junction of Ward Street and Strangways Terrace should be restricted to cars only and should be closed between 9 pm and 7 am as it is currently used at all hours and is adjacent to all the bedrooms of the neighbouring residence.</p> <p>It is inappropriate to put in place new rules to allow taller buildings which will dwarf or hide from view, historical structures that have graced the suburb since the 1800s. Feeling it should be possible to put in place appropriate guidelines with respect to plot ratio, car parking requirements, overshadowing and overlooking provisions as have existed for years in Planning Departments to still allow correct development to occur. It should not be necessary to completely rewrite or remove such guidelines from the Development Plan.</p> <p>Issues affecting residents adjacent to Calvary Hospital hold true for any of the large institutions and colleges in North Adelaide. They must all make provision for on-site parking for staff, visitors and residents. They must all proceed without excessive overshadowing and overlooking of residents. They must develop in such a way to reduce noise created by ongoing services and be sympathetic to the heritage of the suburb.</p> <p>There is a need to remember that when these institutions decided to establish in North Adelaide they purchased their properties, like every resident purchasing, knowing full well that they would always be operating within an environment of Planning and Building rules and did not understand why they now expect the goalposts to be shifted.</p> <p>An outline of a bit of the submission from ICOMOS – International Council for Monuments and Sites - we are concerned about incompatibility of objectives within the Policy Areas with the anticipated development. For example in Hill Street Policy Area 1 where the desired character statements note that it 'should remain one of the lowest density residential areas in Upper North Adelaide and should be protected and enhanced as one of the most historically intact residential areas in South Australia'.</p> <p>However there are new developments anticipated in this Policy area that propose expansions for St Dominic's, the Helping Hand and Calvary Hospital (with proposed multi storey car park) which are all incompatible with this desired character and the existing objectives.</p> <p>North Adelaide as a suburb of Adelaide is very important to the cultural significance of the City, being part of Light's original plan. It has long been held as a 'jewel' area, visited by many, and appreciated by local residents. It is imperative that this character is not undermined by inappropriate new development that would destroy the significance of the locality.</p>	<p>Noted. Council cannot restrict the hours of operation of an existing use</p>
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		<p>Geoff Rischbieth responded to questions from Councillors in relation to:</p> <ul style="list-style-type: none"> • Notification and consultation. • Devaluation of property. 	
14.	Angela McCabe, on behalf of Memorial Hospital (Refer to written submission 62)	<p>The Memorial Hospital has been around for over 90 years, a not for profit hospital, part of the Adelaide Community Health Care Alliance which is South Australia's biggest private hospital group in the State with 115 beds, 7 operating theatres with specialties including ENT, Neurosurgery, Orthopaedic Surgery, Eye surgery etc. The Hospital is opposite the Women's and Children's Hospital with over 600 staff and 100 of those are doctors and is as a key stakeholder and landowner.</p> <p>In principle the key policy proposals are supported for the Memorial Hospital site outlined in the proposed DPA.</p> <p>Memorial Hospital is a progressive Hospital and quite innovative and are in the initial planning stages of an upgrade of current facilities which will include additional floor space, theatre space and day surgery facilities for patients.</p> <p>Memorial Hospital is very supportive and welcome a holistic master plan, design led approach to development of the site. With regards to the building height the amendments to relaxation of the building height are supported.</p>	Noted.
		<p>With regard to parking, staff, patients and visitor, we continue as an organisation and as a management team continue to have a major issue with parking within the site.</p> <p>Access to Memorial is very difficult and parking restrictions are an issue, with concerns escalated by the 5th of November Adelaide City Council media release regarding dedicated on-street parking on MacKinnon Parade North Adelaide being made available to the Women's and Children's Hospital staff. This is additional to the Women's and Children's staff also informing the Memorial Hospital that they are required to relinquish all of the car parks we have in the Kermode Street Car Park at the moment, hence the difficulty for staff and patients to get to the site. Along with parking restrictions and 2 month's notice to give back permanent parks, so are really disappointed that the Memorial Hospital was not included in the Council Women's and Children's parking plan</p>	Noted. Seek State Government to provide additional public transport to these sites to avoid reliance on car parking and minimise demand for on-street parking. Work with landowners to progressively improve travel behaviour to reduce access to and from these sites by car. For detailed response, refer to 'Additional matters and Investigations' paper.
		<p>With regard to Kermode Street, Memorial Hospital is very supportive of the initiative to reimage and redesign Kermode Street Precinct. The Hospital architects are very respectful of neighbours adjacent on Pennington Terrace and it is important to the organisation that we are respectful of neighbours and we do not encroach with making noise or build that may impact on their lifestyles.</p> <p>Memorial Hospital is passionate about their heritage listed building and have always sought professional advice when redeveloping within the site to make consideration for that heritage listing as well as to support neighbours.</p>	Noted.

		<p>The Hospital is opposite the Women's and Children's Hospital with over 600 staff and 100 of those are doctors and is as a key stakeholder and landowner.</p> <p>Angela McCabe responded to questions from Councillors in relation to:</p> <ul style="list-style-type: none"> • Car parking arrangements. • Increased height development impact. • Increased capacity accompanied by increased parking capacity. 	
15.	Julie Jansen, on behalf of Calvary Hospital (Refer to written submission 65)	<p>Calvary Hospital was established by the Sisters of the Little Company of Mary continuously operating in North Adelaide since 1900, the first of the Calvary hospitals in Australia and therefore is an iconic site. Really concerned that we will be having a new Calvary Hospital, Calvary North Adelaide will continue in its current form and continue with core business particularly maternity, the hospice and the like.</p> <p>Calvary has recognised the need to replace its old bed stock with new private rooms increase its beds to meet the demand of the ageing population and to fund a new development, upgrade its infrastructure, relocate from older buildings, repurpose a number of the buildings ancillary to the hospital functions as well as meet the demands of car parking.</p> <p>Calvary is in the process of developing a master plan for future development hence the policy framework that's put in place is an extremely important element in that moving forward.</p> <p>Calvary is generally supportive of the intent of the development plan particularly any policy which recognises the importance of the Hospital.</p> <p>Calvary is particularly supportive of the removal of the plot ratio as a non-complying trigger and supportive of a number of the policies within the Development Plan but do believe that a number of the proposed policies do require some review and refinement and are outlined in detail in the written submission.</p>	<p>Noted.</p> <p>Matters raised have been addressed in written submission. (Refer to Submission No. 65)</p>
		<p>The DPA has missed the opportunity to establish a separate and distinct zone. The Hospital is within the historic conservation zone with a residential focus.</p> <p>The policies at the zone level in the DPA have not been significantly changed and do not recognise the Hospital sufficiently. The lack of recognition of this appropriate long standing land use is unacceptable particularly given the intent of the DPA.</p> <p>On one hand Calvary has gained sufficient and significant recognition in that plot ratio has been removed and that there are various varying height increases but Calvary is very concerned with the nature of a number of the proposals within the concept plan and also concerned the trigger of building height as a noncomplying</p>	<p>The purpose of the H(C) Z is to ensure that the areas heritage values area not diminished. Given the importance of the heritage values, the NAH(C) Z is necessary to ensure that the heritage values of the locality are not diminished. It is acknowledged, that the DPA needs to reflect the long term strategic needs of the colleges and institutions.</p> <p>The appropriateness of the NAH(C) Z as opposed to another zone, is considered minimal. Due to the heritage values of North Adelaide, the same sort of</p>

		<p>trigger.</p> <p>Calvary believes that the building heights are based on residential floor limit and will seek to ensure that those are flexible, particularly hospitals looking for 3 metres of floor to floor height.</p>	<p>policies would be repeated to ensure that the heritage values are retained.</p> <p>For clarity and simplicity, it is recommended to retain the NAH(C) Z and respective Policy Areas</p>
		<p>Calvary seeks greater flexibility is to ensure the opportunity to incorporate potentially sleeved or car parks which are not necessarily basement, there is opportunity or though limited opportunities for basement car parking given the floor space under the at grade car park.</p> <p>To allow continued flexibility and to address redevelopment of the old bed stock but still address the issue and elements of car parking further flexibility in building heights is sought.</p> <p>Calvary recognise that there are interfaces but also seek further clarity in relation to a number of the views, vistas and interfaces that are listed on the concept plan as sensitive heritage and character context.</p> <p>There are a number of policies within the development plan which still are very residentially focussed for example the 50% when you have a hospital which is built on a substantial areas with only car parking and buildings.</p> <p>Obviously the hospital will never comply with that type of criteria being just one example of the residential focus.</p> <p>The policy in the Development Plan which talks about demolition of portion of a local heritage place it's conceivable even within the concept plan that is proposed in the DPA, that the removal of portion of even that fence which is on three sides of the driveway or service delivery point would be a trigger for non-complying and we think that is clearly not the intent of the Development Plan and would like to see some sort of exclusion or exemption in the non-complying trigger for removal of part of that.</p> <p>The intent of the DPA is supported by Calvary North Adelaide and look forward to some changes in the detail of those policies moving forward.</p> <p>Julie Jansen responded to questions from a Councillor in relation to:</p> <ul style="list-style-type: none"> • The building height suggested amendment on Page 6 of the written submission. • Clarity of language. • Basement parking. 	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 65)</p>
16.	Geoff Goode 2 Stuart Place, North Adelaide (Refer to written	<p>He has lived in North Adelaide for over 40 years as a resident and the latest proposal is an amazing opportunity.</p> <p>Both levels and the height to be a trigger, now that's an opportunity to have quite a few levels underground and keep below the upper ceiling height. Now that does</p>	<p>Building height as a non-complying trigger has been retained. Building heights for the Policy Areas have been reviewed and proposed to be amended. Refer to 'Additional Matters and Investigation' paper for</p>

submission 67)	<p>play into the hands of Calvary allowing them to have underground car parking, which being in Steuart Place would be appreciated as there is enormous amount of car parking from St Dominic's and Calvary from their staff in our streets. So there are some good aspects of this plan.</p> <p>There are some untoward aspects of the Plan for instance the dropping of plot ratio. If you allow considerably more levels with just the constraint of an upper ceiling height you increase the density, the potential density of those sites enormously. Who is going to pay for infrastructure upgrades that will be required - ratepayers and state taxpayers.</p> <p>It is breathtaking that plot ratio is removed when you give both levels and height as a trigger, not one but both, the logic is obvious, both of them if exceeded cause a trigger, not one. So you could have 3 levels at about 90 metres high if you want to build a theatre of some kind. It is very sloppy to remove plot ratio, it takes away certainty, it takes away what we all understand is likely to occur, it gives an enormous amount of freedom without 3rd party appeal rights. 3rd party appeal rights are extremely important because that means it goes to a court outside of Council or outside the State governments commission and then a Development Plan will be used to assess that and decide if perhaps should is ok, why not 'shall', if you have a limit its the limit, not 'should' be, maybe or perhaps.</p> <p>He understands that other Development Plans in other precincts and Councils have all gone to should, could or maybe, there is no reason why we should.</p>	<p>details.</p> <p>The quantitative plot ratio control as a non-complying trigger is being removed for the 11 sites, with bulk and density to be managed through a range of qualitative provisions.</p> <p>Provisions of the Development Plan are advisory rather than mandatory. Legal interpretations dictate the use of 'should' rather than 'shall'.</p> <p>Noted. Refer to 'Additional Matters and Investigations' paper for detail.</p>
	<p>In relation to partial demolition of historic building sites, imagine the Wynham Hall tower being removed, you may as well rip down the whole building, it should be total. Heritage demolition in other words some part of the fabric that is part of that heritage place. If you are going to knock out some portion of it then it goes to 3rd party appeal in other words total heritage removal not total heritage building built form there is a difference. Removal of the tower of Wynham Hall a significant component results in the loss of the heritage value and you may as well remove the whole building.</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 67)</p>
	<p>The accuracy of the detail, he likes the idea of drawings showing boundaries of these precincts and is a good idea. There is not a lot of change in this DPA in respect of what people are allowed to do on most sites but the Lutheran precinct 13 is an enormous grab and unacceptable, we live in a residential precinct, in a residential area most of which, a lot of the area is historic concurrent with conservation lands, alienating a larger portion than is necessary - it is too big.</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 67)</p>
	<p>He wonders whether some of the master plans are viable. Motor cars will be increasingly available to almost everyone as a cheap form of transport because unless public transport becomes almost free we are going to be flooded with cheap Chinese made electric cars over the next 10 years and will have increased congestion so multiple levels underground car park at St Dominic's if viable and</p>	<p>Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 67)</p>

		Calvary makes sense.	
		There is good and bad aspects, but by and large this should be rejected and revisited and agrees with the North Adelaide Society's submission.	Noted.
17.	Michael Gibbs (215 Brougham Place, North Adelaide) (Refer to written submission 72)	<p>Indicating he has a contrary view to the Institutions and makes his comments as a long term resident and rate payer of over 25 years, elected member of the Adelaide City Council and even back then they were not too impressed with building heights and change in plot ratios – as a person living, socialising, working in and renovating historical and new buildings.</p> <p>Attendance at numerous meetings with the Adelaide City Council Planning staff in relation to the DPA and acknowledged their concerted effort to understand stakeholder needs and come up with a compromise.</p>	Noted. Many of the matters raised have been addressed in written submission. (Refer to Submission No. 72 and 'Additional Matters and Investigations' paper for detail.)
		A query with any overall evidence based approach being taken. Proposed changes are quite significant, effecting 12-14% of property development areas of North Adelaide, referencing Figure 1 of the tabled document, the areas in dark green, are those areas. The direct impact of the bulk and the height of these sites is massive – closer to 60% or more of the development area because of their location and scattering throughout the area.	<p>Noted. The height of buildings is an important part of the character of the North Adelaide Historic Conservation) Zone.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p>
		The effective removal of the large areas from the heritage conservation zone will weaken the entire zone and undermines the cohesive and consistent approach to development. The scale and height enabled in Development Plan Amendment will result in the destruction of the local village and historical feel of North Adelaide, referencing Figure 2 of the tabled document showing the impact these developments can have.	All of the institutional and College sites will continue to remain within the Historic Conservation Zone.
		<p>Change has been undertaken without an overall strategic plan based on evidence or clarifying what the problem is that we're trying to solve, and Council should facilitate such a plan to ensure the best outcomes for all are achieved.</p> <p>Colleges are a dead model most students don't even want it. According to Australian Bureau of Statistics, around 2000 students make up around 1/3rd of the population of North Adelaide which is about 6,678. So that's 1/3rd that's quite significant number of residents, but most of these students live outside colleges it's the preferred model.</p> <p>Demand by students for accommodation in colleges has sharply declined.</p> <p>North Adelaide Colleges only cater for around 1% of the total student population in</p>	<p>Noted. All of these sites are long standing colleges and institutions that have a historic attachment to the area. All of the sites have been in North Adelaide for at least 50 to 150 years and have made substantial investments in their properties. They have a record of providing health and education services to the community and add to the variety of offer in these sectors as well as adding to local employment. The uses are considered important to the cultural heritage fabric of North Adelaide.</p> <p>The DPA does not actively encourage or introduce</p>

		<p>South Australia according to the Australian Education Network, so colleges have no or very little impact on the growth of the education sector in South Australia. Even Lincoln College in their submission notes that there is and quoted from the submission 'no guarantee that student accommodation will remain a viable ongoing use of the land'. That probably sums up why they are pushing for this and talking about alternate use of the sites.</p> <p>Strengthening the residential sector will generate accommodation that is viable and appeals to both students and businesses alike.</p> <p>As part of development of the Strategic Plan, consider opportunities to transition institutions from historic residential zones to the CBD as outlined in the Development Plan and return institutional sites back to their underlying residential character.</p>	<p>further new uses on new sites but promotes constrained growth to provide clear futures in the planning policy for the long standing institutions and colleges. It is not unusual for these uses to co-exist in residential areas.</p> <p>Council considers there is a need to allow sensitive development opportunities to continue enhance this service provision and ensure the long term competitiveness of these sites whilst enhancing residential amenity.</p> <p>A site by site approach has been provided to consider the long term contribution the sites make to the health and education sectors. Where planning policies have been amended, consideration has been provided to ensure that they meet the guiding principles.</p> <p>The DPA will deliver opportunities for continued services to the health and education sector.</p>
		<p>The interface between institutional sites and close neighbours needs further consideration, citing an example using properties around his as an example referencing Figure 5 and 6 of the tabled document to show loss of views and seeking fixed heights above which a building element cannot exceed are required to ensure views for Stanley St/Brougham Place properties are maintained in accordance with the Plan.</p>	<p>For detailed response, refer to 'Additional Matters and Investigations' paper on St Ann's College.</p>
		<p>He sought Council to dare to be visionary and:</p> <ul style="list-style-type: none"> • Not be bullied by institutions or Minister Rau into becoming accomplices to the destruction of the historical conservation zone • Undertake the development of a strategic plan in consultation with universities and Government to support better outcomes build on evidence. • Enable development of scale that relates to humans and reinforces the historical and village ambience of North Adelaide City Council. • Draw on the submission by Elizabeth Vines and commence work to place the heritage conservation zone of North Adelaide on the National register via expanding the already National Heritage listed Adelaide Park Lands and City layout. Create a gem for future generations, sustainable jobs through tourism like the Rocks in Sydney or the city centre of Copenhagen. • Develop planning controls to facilitate and support this vision. 	<p>Noted.</p>
18.	Ingrid Kerkhoven (16 Mansfield Street,	<p>Ownership of property in North Adelaide for the past 25 years and resident in the area for the past 10 years and professionally the senior design professional</p>	<p>Noted. Refer to 'Additional Matters and Investigations' paper for further detail.</p>

North Adelaide) (Refer to written submission 74)	<p>(FRAIA).</p> <p>The impact of past and proposed adhoc development in North Adelaide which has resulted in unattractive buildings, approved in a time when heritage and planning were not as highly valued.</p> <p>We stand on the cusp of reverting to the former approach now, allowing adhoc development that results in a limited number of individual sites being priorities over the interest of many and the environment.</p>	
	<p>It is the heritage rich environment that forms a large part of places where the institutional sites wanted to be in North Adelaide as well as the other residences and businesses and part of the attraction of North Adelaide is its cohesiveness and general uniformity in building heights, medium density, not low density, mix of heritage and new construction. Council has produced publications, studies and guides that strongly advances this intention and a planning approach that until now supported it and also designated it as residential area.</p> <p>Unfettered development will inexorably alter the environment if uncontrolled to the extent that it will fail to be attractive to all, even the institutions themselves. Recently Melbourne has ended uncontrolled development for the same reasons. Adhoc, additional, multi storey construction in institutional zones, predominately in the southern sector of North Adelaide, will detract from the overall environment and the blanket increased height approach fails to consider increased density as an alternative and the effect on established adjoining properties.</p> <p>Diagrams that were put out for consultation have a number of quite egregious proposals, such as the location of a 5 storey building on the east boundary of Calvary where there's an adjacent property that will be overshadowed and overlooked, a heritage house that would be penned in on all three sides by 3 storey construction and the proposed location of a 4 storey building adjacent the Brougham Uniting Church which was clearly designed to be a landmark on the hill, visible from multiple locations.</p> <p>Some of the Development Plan Amendment diagrams appear to have inconsistencies in them such as the 4 storey building proposed on the MacKinnon Parade site with Kathleen Lumley College when it is also proposed that their existing buildings be retained and the rezoning of properties the Lutheran Church doesn't own in the Archer West Policy Area 13 for out of scale 6 storey construction.</p> <p>Justification for wanting to impose multi storey construction should be closely examined in each case on individual merit including what will happen if the sites business circumstances change or outgrows the site, as there are permanent consequences for the environment.</p>	<p>The height of buildings is an important part of the character of the North Adelaide Historic (Conservation) Zone.</p> <p>It is therefore important that policy in the Development Plan clearly outlines expectations around future height of buildings.</p> <p>The DPA increases the maximum building height on all sites, based on a site by site assessment of a reasonable height; this means each site is achieving increased development potential through this DPA.</p>
	<p>Consultation based on the premise that the changes are necessary for important education and health care sites, if successful, DPA dispensation should not apply</p>	<p>The DPA retains the existing policy framework. Non-complying triggers are in place for most non-</p>

		to these sites if they are vacated or change use.	residential development. Any future change of use would be expected to meet the broader policy area desired character.
		<p>If the institutions want to expand, if they have a coherent and compelling argument that provides sufficient justification, they should be successful regardless of whether these DPA initiatives are implemented and, as anyone else in North Adelaide would be required to do, the proposal should be able to pass the test of reasonable public scrutiny without resorting to denying people opportunity to comment or anticipatory rezoning of adjoining or nearby properties not even owned. On this basis some multi- storey construction could be justified to a particular area.</p> <p>Institutions say they need the Development Plan Amendment initiatives for certainty and control of their sites but as a result deny the same to adjacent and nearby properties if the DPA initiatives proceed. Non-institutional sites are far greater in numbers and contribute more fully to the actual running and character of North Adelaide and deserve a voice in decisions that affect the future of their environment.</p> <p>Ingrid Kerkhoven responded to questions from Councillors in relation to:</p> <ul style="list-style-type: none"> Existing system of meritorious consideration/a system with a system without noncomplying and appeal rights. Site sizes. Clarified the Melbourne example. 	Noted. Refer to 'Additional Matters and Investigations' paper for further detail.
19.	Ed Breidis, on behalf of the North Adelaide Society Inc (Refer to written submission 76)	<p>North Adelaide Society currently has over 250 members, has been operating continuously since 1970 for the last 45 years and arose out of the concern about those mushrooming cream brick developments that appeared on Strangways Terrace, MacKinnon Parade and Brougham Place, when it was felt this could not continue unabated something had to be done and proud of the Society's involvement in what became the Plan for the City of Adelaide. It went through a series of cycles of planning, acting, observing and reviewing, roughly every 5 years and at those 5 year intervals were the opportunities to see if things were going well or if things needed to be adjusted. The mechanism used here is completely different, a Development Plan Amendment, having appeared out of nowhere.</p> <p>It is to Councils credit that it has put its money where its mouth is with things in respect to heritage, heritage incentives scheme and that system arose as a result of some critical manoeuvres in the early 2000's when then Cr Geoff Nairne and Lord Mayor Huang who proposed North Adelaide be looked at and that resulted in the North Adelaide Heritage Conservation Zone which is being discussed and unpicked to some extent which should not be.</p> <p>The North Adelaide Society's view that the Development Plan Amendment is not so much a plan but a plot to damage the character of North Adelaide and promises</p>	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 76 and 'Additional Matters and Investigations' paper for detail.)

		<p>to change the look and feel of North Adelaide.</p> <p>A lot of experience was lost at the last Council change-over, in particular people who had good understanding of planning mechanisms. The Development Plan Amendment hasn't arisen from wishes of the majority of ratepayers in North Adelaide and hasn't evolved from desire to preserve and protect, it has just appeared and is not representative of the people who pay rates, the institutions are exempt.</p> <p>The motivation for the Development Plan Amendment being expansion is not what the North Adelaide Society wants and the Society are at conflict with the DPA, it changes height controls for the worse, abandons plot ratios, it reduces to the status of a building in category status, contemplates creep into adjoining zones, it refers to master plans sought that have not been seen, it threatens the sensitive boundaries</p> <p>already in place and it leans on gazetted provision that allows for total demolition, that was not there until last November when gazetted by Minister Rau to introduce the concept that total demolition might be allowed. Flimsy to refer to existing items on a site that justify bringing other things up to that rather than saying that is the exception.</p> <p>The Society objects to the idea of the Archer West Policy Area being introduced, as it puts something incredibly big in the area, especially if it leans hard on the O'Connell Street Main Street 6 storey limit being extended further westwards towards Jeffcott Street.</p> <p>Council should seize this opportunity and halt the process now, which is the Society's recommendation. The Society, institutions and Government Departments are not happy and so the process should stop to allow for research that gives better information on traffic, parking, infrastructure, overlooking, overshadowing, etc.</p>	
20.	Ed Breidis (Refer to written submission 81)	<p>He resides on Finnis Street, North Adelaide, in the vicinity of Kathleen Lumley College.</p> <p>Finniss Street is divided into two parts being the northern side and the southern side which is, in his view, nonsensical because you can't talk about a streetscape if one side differs from the other. It is historic that Adelaide University, from the 60's to the 90's, was acquiring and selling property that has caused the transformation of the whole southern side of Finnis Street.</p> <p>Concern at being almost directly opposite the Kathleen Lumley College, and that the Dickson and Platten Master Plan, sought but not seen, suggests that there may be 4 storey structures put with their back to Finnis Street as opposed to the 5 low cottages that are there now, which are not Heritage listed but add to the streetscape as they are low single storey cottages.</p> <p>Dislike of the idea that a street with low level, heritage rich property everywhere is</p>	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 81 and 'Additional Matters and Investigations' paper for detail.)

		suddenly confronted with a 4 storey building and recommends the retention of low level, low scale Victorian character.	
21.	Simon Stevens (187 Brougham Pl, North Adelaide) (Refer to written submission 78)	<p>He is a resident of over 30 years in North Adelaide, born in one of the institutions with a mother who trained in one, had just finished a theology degree with one of the institutions, educated within the square mile, worship in North Adelaide, father who was also a city engineer of Adelaide, who believes that the Historical Conservation Zone can be something which holds back development and he wishes to live in a vibrant and diverse community.</p> <p>There is talk of North Adelaide being a village, however North Adelaide is part of the City of Adelaide Plan and, although there are village like qualities, it is part of the whole City.</p> <p>The DPA speaks of development but within the framework of built form and he is happy with the DPA and what it offers as it is a chance for us to put into cultural context the role institutions play in our lives.</p> <p>He supports the DPA as it allows constrained development, it will not go unfettered, preserves and protects a whole range of aspects of the character of North Adelaide but also allows Institutions to maintain themselves and to grow.</p> <p>The institutions are intrinsic to the community and we cannot divorce the residential and the institutional. He understands this Development Plan focuses on the built form but the real outcome is the nature of the community as a result of the built form.</p> <p>The Council should consider and expand on the vision of the DPA to construct a community for North Adelaide which is one of diversity and vitality while at the same time maintains the character.</p> <p>Simon Stevens responded to a question from a Councillor in relation to expansion in a controlled manner.</p>	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 78 and 'Additional Matters and Investigations' paper for detail.)
22.	Peri Coleman on behalf of the Religious Society of Friends (Quakers) (40A Pennington Tce, North Adelaide) (Refer to written submission 88)	<p>Disappointment that the submission from the Religious Society of Friends was overlooked.</p> <p>The Heritage listed North Adelaide Quaker Meeting House was built in 1836 and for last 179 years they have been worshipping there.</p> <p>The Meeting house and its library are already overlooked and partially overshadowed by a new car parking and residential development and that the library has solar panels that are also impacted.</p> <p>The proposed new building heights to the north of their property extend all the way along the property boundary and will lead to further significant overlooking, light and shadowing impacts.</p> <p>The ability to install further solar panels at the Quaker property will be impossible with the only north facing suitable roof space already overshadowed.</p>	Noted. Matters raised have been addressed in written submission. (Refer to Submission No. 88 and 'Additional Matters and Investigations' paper for detail.)

	As the meeting house and library are not residential their light requirements are not protected in this Development Plan Amendment.	
	<p>The building envelope for the St Mark's College proposal in the DPA allows for buildings of up to 4 storeys high to be built right up against the northern wall of their library building.</p> <p>The only setbacks or height restrictions proposed for any higher buildings in this envelope are that they step down towards Kermode Street and Pennington Terrace.</p> <p>They strongly request that the building envelope be moved back from the Quaker boundary and that similar overlooking and shadowing setbacks are used as are proposed in the DPA for small residential buildings.</p>	The DPA is proposed to be amended so that the concept plan locates the building off the boundary.
	<p>The loss of plot ratio will lead to increased densification of the suburb overall which will have several impacts on liveability in the suburb as a whole, such as:</p> <ul style="list-style-type: none"> increased population leading to increased traffic flows on already very narrow streets, even if all new developments have onsite parking. the use of dense materials in large buildings that are heat retaining the reduction in green space with the combination of additional retained heat and lack of evaporative cooling from green areas resulting in a heat island affect causing the locality to be anywhere up to several degrees hotter than the surrounding better vegetated areas and while these large buildings might be climate controlled, the neighbouring residences may be affected and may need to use extra cooling. 	While the quantitative plot ratio control as a non-complying trigger will be removed for the 11 sites, bulk and density matters will be managed through a range of qualitative provisions.
	South Australia's Strategic Plan has reduction of greenhouse gas emissions as a target but densification is likely to increase these emissions	Noted.
	The heritage character of the suburb is not maintained by protecting individual heritage buildings as the buildings form a streetscape and creates the character of a place and large multistorey buildings in close proximity, adjacent to and behind small older buildings can completely hide the building and diminish the heritage listed effect of the streetscape.	The DPA is proposed to be amended so that the concept plan locates the building off the boundary.
	<p>Deep concern that Council has been asked to remove the height as a non-compliance trigger, such removal making a mockery of the proposed building heights in the DPA.</p> <p>Combined with the loss of plot ratio as a planning tool, the loss of non-compliance triggers would appear to allow large developers to build as high and as densely as they like without any consideration as to whether other residents of North Adelaide wish to see their suburb become a dense tall urban area such as can be found in the centre of the City.</p>	A range of qualitative provisions would apply to bulk and density of development.

		<p>The principle of residents having some say about character of developments in their locality is completely at risk of being lost. As with other land uses that have outgrown their neighbourhood there is nothing to prevent large developers realising their asset value via sale of their North Adelaide lands and redeveloping in that part of Adelaide that has been zoned for high density student accommodation.</p>	<p>The opportunity to be consulted is a separate matter to the aspect of non-complying triggers. Many proposals will fall within Category 2 (public notification, opportunity to be heard but with no appeal rights)</p>
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Attachment C – Timeframe Report

SCPA Timeframe Report: Process B – with consultation approval

The SOI was agreed by the Minister and Council on "Council to insert date of agreement"

Key steps	Period agreed to in SOI	Actual time taken	Reason for difference (if applicable)
Investigations conducted, DPA prepared and submitted for approval to commence concurrent agency and public consultation	6 months	6 months	-
DPA prepared for agency and public consultation	8 weeks	5 weeks	-
Agency and public consultation period (report on any delays incurred by agencies)	8 weeks	Almost 10 weeks	
Public Hearing held, submissions summarised and DPA amended in accordance with Council's assessment of submissions. Summary of Consultations and Proposed Amendments submitted to Minister for approval.	8 weeks	"Council to insert length of time"	

Attachment D – Schedule 4A Certificate

Schedule 4a Certificate

Schedule 4a Certificate

CERTIFICATION BY COUNCIL'S CHIEF EXECUTIVE OFFICER

DEVELOPMENT REGULATIONS 2008

SCHEDULE 4A

Development Act 1993 – Section 25 (10) – Certificate - Public Consultation

**CERTIFICATE OF CHIEF EXECUTIVE OFFICER THAT A
DEVELOPMENT PLAN AMENDMENT (DPA) IS SUITABLE FOR THE PURPOSES OF
PUBLIC CONSULTATION**

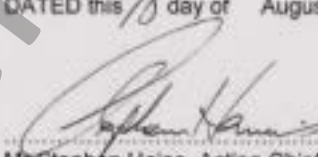
I Stephen Hains, as Acting Chief Executive Officer of Adelaide City Council, certify that the Statement of Investigations, accompanying this DPA, sets out the extent to which the proposed amendment or amendments-

- (a) accord with the Statement of Intent (as agreed between the Adelaide City Council and the Minister under section 25(1) of the Act) and, in particular, all of the items set out in Regulation 9 of the *Development Regulations 2008*; and
- (b) accord with the Planning Strategy, on the basis that each relevant provision of the Planning Strategy that related to the amendment or amendment has been specifically identified and addressed, including by an assessment of the impacts of each policy reflected in the amendment or amendments against the Planning Strategy, and on the basis that any policy which does not fully or in part accord with the Planning Strategy has been specifically identified and an explanation setting out the reason or reasons for the departure from the Planning Strategy has been included in the Statement of Investigation; and
- (c) accord with the other parts of the Development Plan (being those parts not affected by the amendment or amendments); and
- (d) complement the policies in the Development Plans for adjoining areas; and
- (e) satisfy the other matters (if any) prescribed under section 25(10)(e) of the *Development Act 1993*.

The following person or persons have provided advice to the council for the purposes of section 25(4) of the Act:

Amanda McConnell
Beth Thackray
Rick Hutchins

DATED this 18 day of August 2015


Mr Stephen Hains, Acting Chief Executive Officer

Item 4 - Attachment D

Attachment E – Schedule 4B Certificate

Schedule 4B—Certificate—section 25(14)(b)

Certificate of Chief Executive Officer that an amendment to a Development Plan is suitable for approval

I, Mark Goldstone, as Chief Executive Officer of Adelaide City Council, certify, in relation to the proposed amendment or amendments to North Adelaide Large Institutions and Residential Colleges DPA as last consolidated on **"Insert current consolidation date"**, referred to in the report accompanying this certificate—

- (a) that the Council has complied with the requirements of section 25 of the Development Act 1993 and that the amendment or amendments are in a correct and appropriate form; and
- (b) in relation to any alteration to the amendment or amendments recommended by the Council in its report under section 25(13)(a) of the Act, that the amendment or amendments (as altered)—
 - (i) accord with the Planning Strategy, on the basis that each relevant provision of the Planning Strategy that relates to the amendment or amendments has been specifically identified and addressed, including by an assessment of the impacts of each policy reflected in the amendment or amendments against the Planning Strategy, and on the basis that any policy which does not fully or in part accord with the Planning Strategy has been specifically identified and an explanation setting out the reason or reasons for the departure from the Planning Strategy has been included in the report of the Council; and
 - (ii) accord with the other parts of the Development Plan (being those parts not affected by the amendment or amendments); and
 - (iii) complement the policies in the Development Plans for adjoining areas; and
 - (iv) satisfy the other matters (if any) prescribed under section 25(14)(b)(ii) of the Development Act 1993; and
- (c) that the report by the Council sets out a comprehensive statement of the reasons for any failure to complying with any time set for any relevant step under section 25 of the Act; and
- (d) that the following person or persons have provided professional advice to the Council for the purposes of section 25(13)(a) of the Act:

Date:

.....

Chief Executive Officer

Attachment F – Additional Matters and Investigations

Item 4 - Attachment D

Item 4 - Attachment D

ATTACHMENT E: ADDITIONAL MATTERS AND INVESTIGATIONS

After the statutory consultation, common issues across the submissions received were identified and investigations conducted. This document summarises common issues and overall responses and is structured in relation to the high level principles guiding this DPA and each specific site.

High Level Principles

1. Fostering Economic Synergies
2. Maintaining Residential Amenity
3. North Adelaide's acknowledged Heritage Value
4. Integration with Transport Planning, based on Smart Move: The City of Adelaide's Transport and Movement Strategy

Site Specific Responses

- 5.1 Helping Hand Aged Care
- 5.2 St Dominic's Priory College
- 5.3 Calvary Hospital
- 5.4 Lincoln College
- 5.5 St Ann's College
- 5.6 Kathleen Lumley College
- 5.7 Memorial Hospital and Women's and Children's Hospital
- 5.8 Aquinas College
- 5.9 St Mark's College
- 5.10 Archer West Policy Area 13

CONTENTS

- 1. Fostering Economic Synergies**
- 2. Maintaining Residential Amenity**
- 3. North Adelaide's Acknowledged Heritage Value**
- 4. Integration with Transport Planning, based on Smart Move: The City of Adelaide's Transport and Movement Strategy**
- 5. Site Specific Responses**
 - 5.1 Helping Hand Aged Care
 - 5.2 St Dominic's Priory College
 - 5.3 Calvary Hospital
 - 5.4 Lincoln College
 - 5.5 St Ann's College
 - 5.6 Kathleen Lumley College
 - 5.7 Memorial Hospital and Women's and Children's Hospital
 - 5.8 Aquinas College
 - 5.9 St Mark's College
 - 5.10 Archer West Policy Area 13

1. Fostering Economic Synergies

Item 4 - Attach

1. Fostering Economic Synergies

DPA PROPOSAL

- The DPA supports the health and education sectors by proposing all existing and envisaged land uses are considered on 'merit'. This allows provision for aged care facilities, student accommodation, hospital and education establishments on the respective sites.
- The DPA provides additional development opportunities on each site which take into account the individual opportunities and constraints of each site.
- The DPA provides site specific design standards and a building envelope as well as continuation of landscaped open space policy to guide built development. The DPA proposes deletion of policies on floor area, beds, and plot ratio. Development will need to manage impacts to determine overall site capacity i.e. larger rooms or more bed spaces. Smaller rooms, more common areas etc.
- Provided the overall student accommodation purpose is maintained, allow offices unrelated to the primary student accommodation purpose to be established on student accommodation sites to provide an increased range of possible land uses and provide a range of options to support the economic futures of the student colleges.

SUMMARY OF COMMENTS FROM CONSULTATION

DPTI feedback

- Supports the health and education sectors within North Adelaide.
- Consider including additional detail to the Desired Character Statements (and relevant objectives and principles) for the zone that provides greater focus on the redevelopment opportunities offered by the large institutional and college sites.
- Considers expansion of sites should be enabled both on the existing sites and surrounding sites. Council requested to remove the non-complying controls relating to expansion of land uses from Calvary Hospital, St Dominic's Priory and Helping Hand where they are developed on contiguous allotments.
- Concerns with a number of policies that hinder the potential re-development of these sites and raises the following issues:
 - Retention of non-complying controls relating to building height and various land uses.
- While the increase in building heights is a positive measure, the Department still considers that the DPA would benefit from the removal of all height based non-complying controls to permit a more merit based assessment of building heights for each individual site. Council requested to remove all building height related non-complying controls to be consistent with the approach of the Capital City and Residential Main Streets DPAs.
- Seek a consistent approach to all sites and no perceived 'winners' or 'losers'.

State Agency Feedback

Nil

Community Feedback

Landowners

Submissions from landowners have expressed to varying degrees:

- Need to allow expansion beyond existing site boundaries as well as some increases in allowable height in order to not constrain future opportunities
- A clear intent for more certainty.
- Need to allow for a range of land uses on merit on the existing sites to give greater flexibility for viable and diverse businesses. i.e. removal of non-complying triggers. This includes ancillary uses to the primary use, such as office, events and functions. Greater flexibility is also sought regarding illuminated signage.

Other Stakeholders

- A number of submissions suggested there should only be residential land uses in North Adelaide. Concern commercial land uses do not erode the residential and historic character of North Adelaide, and diminish the core commercial roles of O'Connell and Melbourne Streets.
- Some submissions suggested intensification on each site may be appropriate provided it is well designed and impacts are minimised. Some submissions supported expansion of these sites into adjacent land.
- General concern about the impacts from existing development and potential added intensity of development on these 11 sites and Policy Area 13. Concern whether the policies would exacerbate existing conflicts between land uses.
- Student accommodation should be in the City rather than North Adelaide. The DPA is for the commercial benefit of the colleges to secure their survival in the short term. This student housing model is no longer viable and competes with cheaper student accommodation in the city. The changes in tertiary education through on-line learning and less direct class room contact is also fundamentally impacting on the viability and need for this type of student accommodation.
- There is a need to provide aged accommodation in North Adelaide and Adelaide.
- Concerns around the integration between land uses and impacts on parking, local traffic and residential amenity etc.
- Various comments such as:
 - No change is needed, must protect
 - Opposition for height over 3 storeys
 - Opposition for height over 4 storeys
 - Opposition for height over 6 storeys
 - Concern for "high rise" buildings up to 6 storeys

- The Concept Plans show boundaries for the 11 sites but gives no direction where an institution seeks to develop land beyond boundaries for land uses consistent with existing permitted uses on that land. Would like the retention of the PDC which restricts development beyond the boundaries of the site.
- Further designs should be open to public scrutiny with a capacity for consultation and compromise.

COUNCIL REVIEW AND OPTIONS

A primary reason for this DPA relates to the importance of these health and education sites to contribute to delivery of world class services to South Australia and to contribute to the South Australian economy. Education and health continue to be strategic priorities for both the South Australian economy and the City of Adelaide.

Whilst there is general support for each site having a viable future, comments received relate to the overall land use strategy in North Adelaide, whether each institution/college site can/should expand to adjacent sites, and the level and nature of intensification and range of land uses on each site.

Related to both of these were comments around the different types of planning policy to guide that change, such as the sites having an individual zone, use or otherwise of the non-complying policy trigger, and then how that relates to public notification of development applications.

North Adelaide Land Use Strategy

The guiding principle of fostering economic synergies seeks that the existing institutions and colleges should have a viable future. Comments received generally support that approach, notwithstanding some submissions question the viability of some sites into the future and suggest such activities should be relocated away from North Adelaide, envisaging a wholesale residential future for the non-main street areas of North Adelaide.

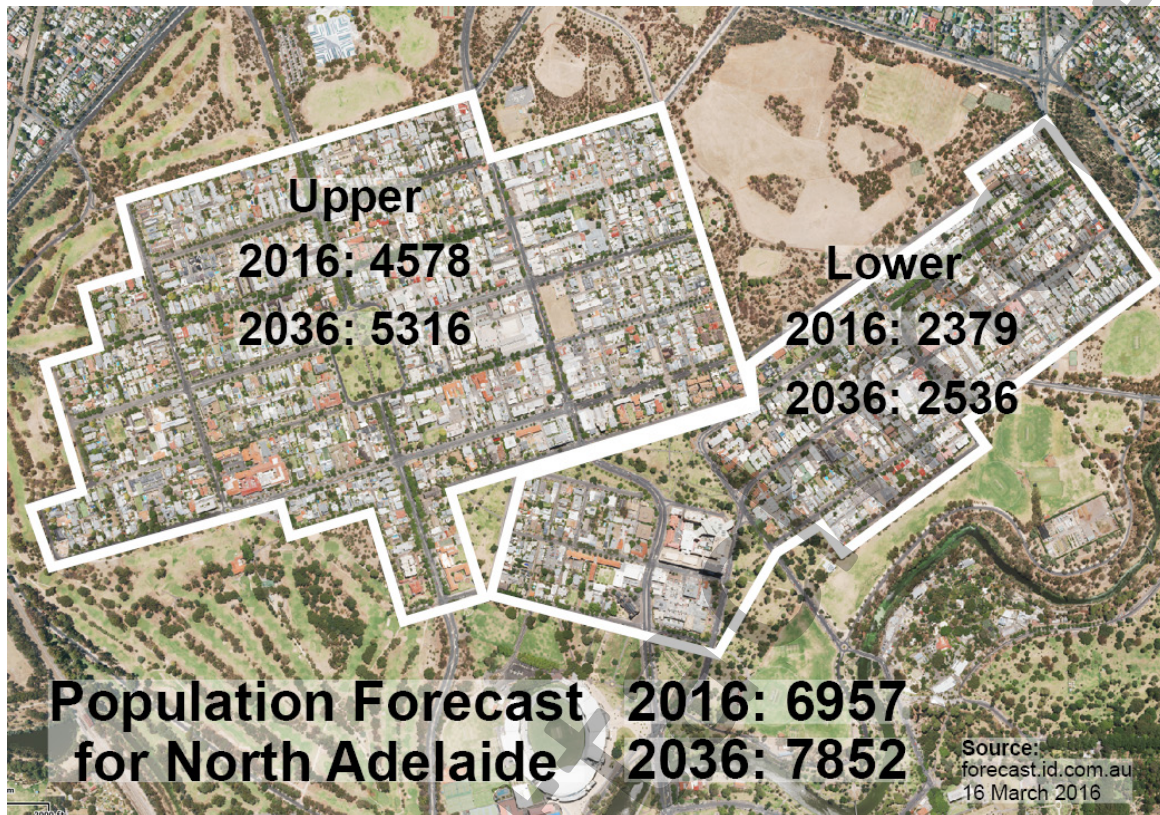
DPTI's comment seeking that there be no perceived 'winners or losers' between the sites relates in part to having a consistent approach to the sites. The DPA adopts this approach, but each site has unique circumstances. Overall, each site has an increase in development potential that this DPA following consultation has reviewed and is continuing with.

One risk which has been flagged in consultation as well is that increasing development potential – and some flexibility with a mix of uses on these sites – would weaken the prime commercial role of the Main Street Zones along O'Connell and Melbourne Streets.

This risk is considered minimal at best taking into account progressive population growth in inner Adelaide as well as North Adelaide as a whole that underpins activity in the two main streets as well as the likely small scale of ancillary activities on these sites.

As one indicator of envisaged residential population growth in North Adelaide over the next 20 years, forecast id suggests North Adelaide's overall residential population will increase around 900 people.

Refer to discussion on this in the Archer West Policy Area 11.



Intensification within Each Site and Expansion beyond Existing Sites

The land affected by the DPA is 11 existing institution and college sites as well including the slightly larger land area near to the Lutheran College of Australia.

The DPA primarily proposes changes to enable further land use and built form intensification and height within the existing institution and college sites.

The existing NAH(C)Z already envisages a range of uses other than residential in different parts of what is commonly referred to as North Adelaide's residential areas, and the intent of the DPA is to continue this.

Expansion Beyond Existing Sites of St Dominic's, Calvary and Helping Hand

Council has been requested to consider broader changes beyond the existing boundaries around St Dominic's Priory College, Helping Hand Aged Care and Calvary Hospital, all within the Hill Street Policy Area of the NAH(C)Z.

Regarding St Dominic's, the consulted DPA enables the school to intensify within the existing site boundaries but expansion onto adjacent sites for education purposes – be it primary school or educational establishment – triggers non-complying. A similar approach is taken for Helping Hand, with expansion onto contiguous allotments in the

form of 'nursing home' non-complying. Calvary can also intensify within the site but expansion to adjacent sites in the form of 'hospital' 'consulting room', and 'clinic' trigger non-complying.

The core – but not sole – function of the NAH(C)Z is for residential land uses and this both reflects the existing area and its past, as well seeks to ensure residential amenity such as low noise and disturbance, and limited traffic into the future.

St Dominic's, Helping Hand and Calvary adjoin numerous buildings, some of which are heritage listed. Contiguous expansion onto adjacent sites could involve reuse of existing buildings, expansion and adaptive reuse of heritage buildings, or where not listed, replacement with modern, sympathetically designed new buildings. All scenarios involve a horizontal expansion of St Dominic's, Helping Hand or Calvary in terms of both use and built form, and removal of adjacent existing residential use.

Existing buildings – including those that are heritage listed - would need significant alterations to accommodate commercial uses, including fire safety and access for people with disabilities. Parking to support the use would likely be needed and as an example, Figure 1.1 shows 118 Barnard Street, next to St Dominic's Priory. Compared to 112 Barnard Street which is residential, 118 has provided off-street parking to support the trip generation of the medical consulting room. Given the isolated location from other commercial uses, it is unable to exploit shared car parking and also is not readily accessible to public transport. Accordingly, the site has managed its commercial travel demand through off-street parking, with the visual impact on residential amenity and adjoining neighbours, as well as the heritage character of the area.

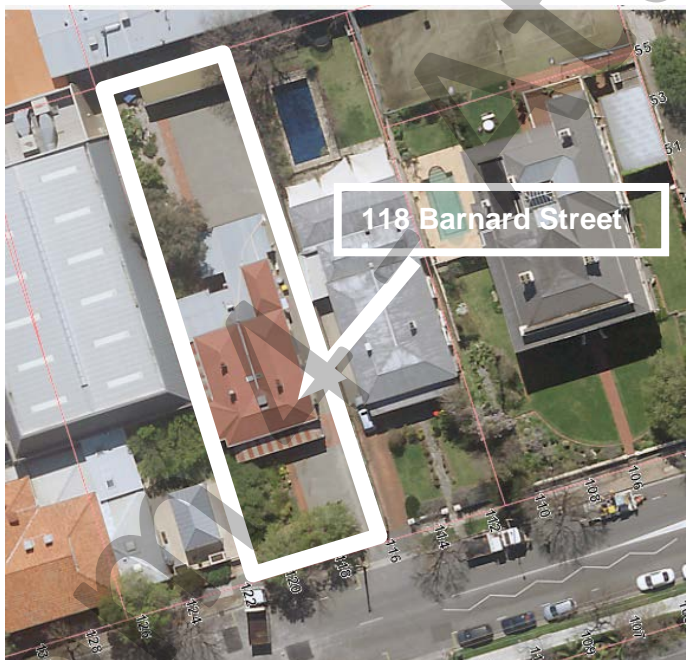


Figure 1.1: 118 Barnard Street, St Dominic's Priory adjoins the site to the North and West.

In terms of the long term future of the City, strategically, community land uses which generate high employment numbers and trips such as hospitals, education

establishments and aged care facilities are ideally located in growth oriented zones, such as main street zones and Capital City Zone, and there is significant long term capacity in these areas for this to occur. A recent example is the Calvary Hospital on Pulteney Street. Clustering and concentrating these land uses creates economic synergies, are a hub of productivity, and can reduce trip generation and assist maximising public transport patronage.

Through consultation, there is a resounding desire to retain the residential nature of the NAH(C)Z rather than a desire for more a mix of uses. Whilst there is an acknowledgment of the need to support the existing colleges and institutions, and this is provided for by the DPA enabling intensification within each site, further changes beyond the existing boundaries into an area envisaged predominantly for a residential future – rather than a growth future – would impact on the historic residential character of the suburb by removing residential use and establishing more of a non-residential appearance on each site. This in turn also lessens the residential amenity. The DPA enabling intensification within each site – as well as the wider Development Plan providing significant growth options in more growth oriented zones – lends little support for amending the DPA to support contiguous expansion.

Accordingly, no change is proposed to DPA policies that support the regeneration of these key sites provided the development opportunities do not diminish the heritage values, unduly impact on residential amenity and unduly affect transport (comments around these matters will be discussed in Sections 2 and 4).

Note: Site Specific Responses (Section 5) considers consultation comments around development potential matters (such as height and street character) for each site, Section 2 on residential amenity and Section 4 on transport.

Following consultation, continue with the DPA enabling intensification within St Dominic's, Helping Hand and Calvary sites rather than enabling contiguous expansion.

Student Housing and the Colleges

The current Development Plan nominates student housing as a merit use generally within the NAH(C)Z. The DPA continues this approach. This means that should a development application be lodged to establish student accommodation on land adjacent any of the existing six colleges, or on a site within the Zone, it would be assessed on its merits under both the current Development Plan and the proposed DPA.

Some comments questioned the viability of the student colleges in relation to the increasing student accommodation in the City. In terms of the range of accommodation for tertiary students – from regional SA, interstate and international - the colleges provide a niche offer that has a particular pastoral function that differs from the student housing developed in the last 10 – 15 years in the CBD. The College offer of buildings set within landscaped grounds, of old buildings – many heritage listed – and all being located north of the Torrens Valley park lands and

separated from the CBD - are an integral part of that offer, and provide a niche offer. All of the Colleges aspire to continue this form of niche role and function and this DPA's intent is to provide sufficient certainty to enable the operators to plan with confidence for alterations, additions and new buildings to enable them to provide the niche offer that is needed. It is also noted that the international education sector is highly competitive internationally and for the City and SA to continue to compete in that market, a whole range of measures are needed, including Development Plan flexibility for these sites futures.

Continue the current Development Plan's approach in the DPA to enable student housing to be established on a merit basis in the NAH(C)Z, including immediately adjacent the existing college sites

Within Site Uses and Ancillary Uses

Submissions from owners seek affirmation that not only can what is the existing use continue, that they have confidence for related uses and activities. For example, office and administrative functions are an integral part of the services provided by Helping Hand, and the submission from Calvary sought recognition of shop, café and offices ancillary functions of Calvary. Lincoln College currently undertakes a number of other activities that are ancillary to their principle land uses including short term accommodation, office and education learning spaces (for academic tutoring, residential tutors, and mentoring programs are critical activities).

Each of the sites has some form of 'existing use rights' for their primary use, be it student college, hospital or education. The existing use right is formed from the time the various activities were established between 50 – 130 or so years back, and built upon through the establishment of various legal instruments/planning systems for the control of building work, the granting of planning approval for various activities and buildings. Each of the 11 sites will have a unique existing use right in 2016 that is reflective of their history of use and past approvals.

Due to this right that applies to each institution and college, where for instance a college wants to do a particular activity or event, it fits within that existing use right, and no consent is needed. Likewise, if a particular part of a building is to be used for administrative purposes associated with the overall use, whilst any building renovation works would need approval, the use itself is within the existing use. Note that the DPA released for consultation nominated that 'Office' was non-complying 'except where in association with existing student accommodation on land identified as ...' and then listed the of student colleges. As office functions that are part and parcel of each college are ancillary, there is no need for an exemption from non-complying and following review, this has been deleted.

Initial consideration has been given as to whether standalone office use, such as an accountant, should be allowed on merit on the college sites, as some form of flexibility mechanism to support the college uses. On balance, this is not supported given the DPA increases potential for the colleges to progress their primary and core student accommodation function, such office development should be in commercial and main street zones, and if developed, would bring commercial activity, signage and commercial at grade on site car parking, these being at odds with the student,

residential and historic intent of each of the sites, heritage buildings on those sites, and North Adelaide's residential area.

'Ancillary uses' that are part and parcel of the primary use (eg hospital) are subject to merit assessment as part of the 'existing use rights' of the primary use, and there is no need for the DPA explicitly provide for such activity eg by way of exemption from non-complying.

Building Height, Heritage Value and Views

The DPA proposes to increase the height to which buildings may be allowed to be built within the existing site boundaries. This increased height in comparison to the current Development Plan enables higher buildings to replace existing buildings, and new buildings to be established. This would result in the institution and college role on each site intensifying with further built form, either standalone or as additions.

Building height allowable under the existing Development Plan, existing on each site, and proposed under the DPA released for consultation is in the following table.

SITE	Existing Max Building Height in existing Development Plan (1)	Existing height of buildings	Proposed Max Building Height (in DPA released for consultation) (1)
Helping Hand Aged Care	2 building levels/6 metres	Range from 1 to 4 building levels	4 building levels/12 metres
St Dominic's Priory	2 building levels/6 metres	Range from 1 to 3 building levels	3 buildings levels/9 metres
Calvary Hospital	2 building levels/6 metres	Range from 1 to 4 building levels	5 building levels/15 metres
Lincoln College	2 building levels/6 metres	Range from 1 to 4 building levels	6 building levels/18 metres
St Ann's College	2 building levels/6 metres	Range from 1 to 4 building levels	4 building levels/12 metres
Kathleen Lumley College	2 building levels/6 metres	Range from 1 to 4 building levels	4 building levels/12 metres
Women's & Children's Hospital (north side of Kermode St)	6 building levels/21 metres	Range from 2 to 11 building levels	6 building levels/21 metres
Women's & Children's Hospital (south side of Kermode St)	2 building levels/6 metres	4 building levels (car park building)	6 building levels/18 metres
Memorial Hospital	2 building levels/6 metres	Range from 2-3 building levels	6 building levels/18 metres
Aquinas College	2 building levels/6 metres	Range from 1 to 3	3 building levels/9

	metres	buildings levels (includes building under construction)	metres
St Mark's College	2 building levels/6 metres	Range from 1 to 4 building levels	4 building levels/12 metres
Archer West Policy Area 13	2 building levels/6 metres	Range from 1 to 4 building levels	6 building levels/18 metres

- (1) Within the NAH(C)Z under the current Development Plan, maximum building height is measured to the top most ceiling, with roof form or plant additional. This differs to the rest of the Adelaide (City) Development Plan and other Development Plans where building height is measured to the rooftop. As this DPA is reviewing 11 sites within part of the NAH(C)Z, the 'top most ceiling' method of measuring building height is continued. Within the NAH(C)Z under the current Development Plan, a proposed building only triggers non-complying if it exceeds in height both the top most ceiling height AND the number of storeys. This same approach is used in the DPA.

In preparing the DPA, each site was investigated taking into account each sites individual size, dimensions, current buildings and landscape, heritage fabric, and adjacent and nearby character. This means for each site, the DPA proposes a site specific approach to allowable height.

An important element of North Adelaide's heritage value is building scale and height. Historic construction patterns are typically low to medium scale, entailing low scale streetscapes are typical of the pattern of the development and vernacular. Given scale is a key component of the heritage value, inappropriate scale could significantly diminish the heritage value.

The DPA policies ensure that from the public realm, the low scale streetscape is retained. This allows infill development sensitive to the heritage streetscapes and retaining the vistas of landmarks of North Adelaide eg Lutheran Seminary (former Whinham College), St Peters Anglican Cathedral and Brougham Place Uniting Church.

Whilst sensitive infill development can be accommodated, there is a tipping point where the scale of development will impact on the historic character of North Adelaide. Development highly visible and over "human scale" would be discordant to the existing urban form and significant heritage value.

The historic character and value of North Adelaide's scale is considered economically important alongside the needs of the health and education sectors. Tourism is a key economic driver and development that diminishes North Adelaide's heritage value may also diminish the contribution to tourism's economic value.

A prime example is St Peters Anglican Cathedral, a key land mark within the City. Figure 1.2 outlines important view corridors to the Cathedral. The loss of views to the Cathedral from O'Connell Street, the Park Lands and the Brougham Place dress circle would be profound. In addition, the direct views to the Cathedral are important as providing a suitable back drop and skyline, and also impact the tourism and cultural value of a significant world class building.



Figure 1.2: Image is showing the view corridors of the land mark building St Peters Anglican Cathedral.

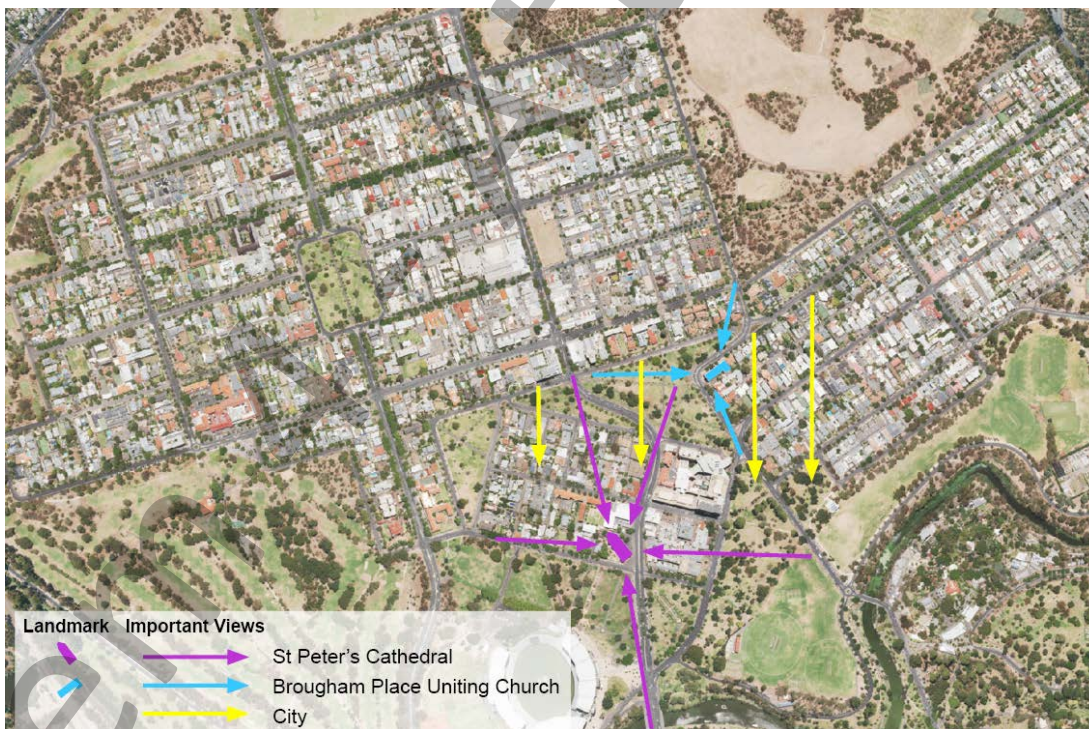


Figure 1.3 A number of important views in North Adelaide

Consideration of this matter highlights that a number of views are important in North Adelaide. The view from the Brougham Place 'dress circle' and Stanley Street to the

City Skyline and Adelaide Hills, and the views to the visual landmarks of St Peters Cathedral, Brougham Place Uniting Church and Hebart Hall

Whilst Section 5 is regarding proposed allowable height of St Ann's and St Marks, it is considered that – in addition to recognition in the NAH(C)Z Policy Area 14 of the importance views to the City from Stanley Street and Brougham Place – the current Development Plan is lacking in identifying that for building development generally, that these are important views that should be taken into account when considering new building development.

Insert policy in the Council Wide Height, Bulk and Scale section of the Development Plan – flagging that the following views are important for building development to maintain:

- views from the Brougham Place and Stanley Street to the City
- views to the visual landmarks of St Peters Anglican Cathedral and Brougham Place Uniting Church.

Continue with the DPA's increase in allowable height that have regard to the historic character of North Adelaide and landmarks like St Peters Anglican Cathedral, with each sites appropriate height following consultation comments outlined in Section 5.

Illuminated Advertisements

A matter raised through consultation suggests amending the non-complying list to allow illuminated signage to be incorporated with the Calvary Hospital site.

The current NAH(C)Z nominates illuminated signage as subject to the non-complying trigger within Policy Area 1 – which includes Calvary and St Dominics – as well as Policy Area 10 which includes St Anns. The current NAH(C)Z enables merit assessment of illuminated signage throughout the balance of the Zone, which includes, for example, the other student colleges and Helping Hand.

Wayfinding at night time is important to enable people to find where they need to go and safely.

Illuminated signage – particularly internally illuminated - is not typical of historic or residential areas. It is acknowledged nonetheless there is a need to ensure policy enables signage for night times to places like Calvary and St Dominics provided it is discrete, fits into the historic character and residential amenity. It is considered the same approach can apply to St Anns.

Following consultation, amend the DPA to enable illuminated signage to be assessed on its merits in Policy Area 1 and 10 (which includes Calvary, St Dominics and St Anns) in the same manner as it happens in the balance of the North Adelaide Historic (Conservation) Zone, with emphasis on it being discrete, not impacting residential amenity and character, and noting existing Council wide policy on advertising in residential areas exists.

Use of Non-Complying/Public Notification

During consultation, comments were received in relation to the procedural tools i.e. what development should and shouldn't be 'merit' or non-complying. This also relates to what types of development are publicly notified.

Non-Complying

The main differences between a merit and non-complying development application process are explained below:

	Merit	Non-complying
Submission requirements	Applicant does not need to prepare a Statement of Effect and Statement of Support	Applicant is required to prepare a Statement of Support and Statement of Effect (after a decision is made on whether or not to proceed with a full assessment of the application)
Assessment Process	The relevant authority must assess an application	The relevant authority must decide whether to proceed with the assessment of the application. Should the relevant authority decide not to proceed with assessment, the process is complete with no appeal rights for the applicant.
Assessment Criteria	The 'merits' of the proposal are assessed against the same provisions and an on-balance assessment made.	
Appeal rights	Applicant has appeal rights to the Environment Resources and Development Court. No third party appeal rights against the decision (assuming Category 2)	No Appeal Rights for the applicant against the decision, including any conditions of approval. Third Party appeal rights (Category 3)
Authority	<u>Council staff or Council DAP if proposal is less than \$10M. If greater than \$10M, DAC.</u> <u>If above \$3M, Coordinator General may be the authority.</u>	
Concurrence	Concurrence with the planning approval <u>is not</u> required from the Council DAP or the Development Assessment Commission	Concurrence with the planning approval <u>is</u> required from the Council DAP or the Development Assessment Commission
Notification	<u>Category 2 (likely in NAHCZ)</u> Statutory: Adjacent neighbours can comment on applications and can be heard by the DAP however do not have appeal rights. Non-statutory actions: Adelaide	<u>Category 3</u> Statutory Publicly advertise the application and allows submissions from any person. Representors can be heard by the Development Assessment Panel and

	City Council in practice publicly advertises the application and allows submissions from any person.	have appeal rights to the ERD Court.
Timeframe for a decision	<u>Generally lesser time frame</u> for a decision to be made on merit applications compared to non-complying.	<u>Longer time frame</u> due to additional application steps, and potential third party appeal rights.

As documented in the DPA investigations released for consultation, the need for the DPA relates to the existing use of the 11 sites having a high degree of divergence from the existing policies of the Development Plan. This is particularly the case in relation to the height of existing buildings, where all 11 sites have existing buildings that exceed the current building height set out in the Development Plan. This is summarised in the below table.

ALIGNMENT WITH EXISTING POLICY			
	Land Use	Building Height	Plot Ratio
Helping Hand	Unclear	X	X
St Dominics	Unclear	X	Unclear
Calvary	✓	X	X
Lincoln	✓	X	X
Lutheran	X	X	✓
St Anns	✓	X	X
Kathleen Lumley	✓	X	X
WCH	✓	X	X
Memorial	✓	X	✓
St Marks	✓	X	✓
Aquinas	✓	X	✓

✓ – Current use within policy X – Current use outside policy

The DPA aims to ensure that the envisaged land uses and building development for each site are considered on merit. This is aimed to ensure that land owners have certainty to make alterations and additions, construct new buildings, and remain productive in providing services to the health and education sectors.

The principle challenge with the existing non-complying triggers (ie without the DPA) is the trigger points do not provide certainty for the long term regeneration needs of the institutions and colleges.

For each of the 11 sites, this DPA has proposed particular policies around the envisaged future for each site in terms of a range of land uses, building height and building siting.

Regarding land use, previous sections around St Dominic's, Helping Hand and Calvary has considered horizontal expansion, and concludes this is not warranted, hence, supports continuation of use of non-complying trigger. Student housing is not non-complying under the current Development Plan and the DPA continues this.

Regarding height, the DPA continues the use of non-complying trigger points for height but proposes increases in the envisaged height i.e. increases in allowable height. Refer to the Development Plan Amendment Policy and Concept Plans, and Site Specific Responses Section 5 for details. With the DPA envisaged future for the sites being released for consultation and in considering the feedback, this process identifies the envisaged and desired futures for each site, and thereby provides certainty for the institutions and colleges to invest with confidence in the future. Continuing to use non-complying trigger for the DPA heights is warranted given the acknowledged significant heritage character and value of North Adelaide that dictates the need for a precautionary approach to considering development applications that involve buildings higher than the envisaged height. Non-complying is warranted for the same reasons in order to protect views to certain land marks buildings.

Plot ratio is the ratio of floor area to site area (See Figure 1.3). The current Development Plan nominates a non-complying plot ratio trigger for each site (except St Ann's), which has meant, and if retained, would continue to mean, new buildings would likely trigger non-complying.

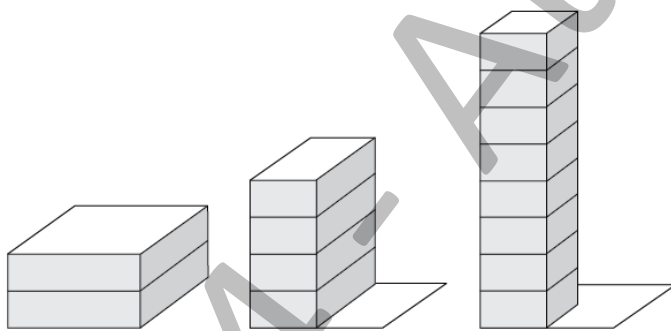


Figure 1.3: All three images meet a plot ratio of 2.

The proposed DPA does not have plot ratio for the sites. This does not mean buildings can be developed with no guidance in the Development Plan. The DPA proposes for each site a site specific set of policies and an associated Concept Plan that establishes a desired built and landscaped character. This involves a particular building envelope for each site within which development, such as new buildings and additions to heritage buildings, can occur. Part of the value of the institutions and colleges is buildings set within landscaped grounds, and this is continued in the DPA. Part of this is the DPA continuing the current Development Plan landscaped open space standard of 50% of the site (a slightly different approach is proposed for the new Policy Area 13).

Refer to the Development Plan Amendment Policy and Concept Plans, and Site Specific Responses Section 5 for details.

Following consultation, the DPA proposes to assess development on the sites (including regarding land use, height and floor space) based on site specific guidelines, and to continue the use of the non-complying trigger for buildings that are above the envisaged height or land uses that are not envisaged.

Public Notification (consultation of development applications)

The DPA proposes to retain the level of public notification for development applications that currently applies in the NAH(C)Z. This is that all development (except for minor) is Category 2 i.e. notified to adjacent properties however representors do not have appeal rights.

Non-complying development applications can be applied for and would continue to be 'Category 3' and contain third party appeal rights.

During public consultation on the DPA, stakeholders sought more consultation on applications, for example, that 'Further designs should be open to public scrutiny with a capacity for consultation and compromise.' Many owners consider that consultation should not occur i.e. Category 1 on development that is envisaged for each site by the Development Plan. Many comments sought to retain consultation on all types applications.

In considering comments from consultation, it is noted that the DPA proposed changes are being consulted on and reviewed. As such the policy settings are being considered through the DPA process of consultation and review, this being at the front end of the overall planning system.

It is noted the Development Plan has different levels of public consultation within it. In the North Adelaide Historic (Conservation) Zone, development that is not minor is considered Category 2. Whilst it is desirable to streamline applications and improve timelines, the DPA envisages redevelopment and intensification of these sites that is higher and more intense than the balance of properties located in this long established historic residential area. Noting that the DPA proposes to continue the current Development Plan's nomination of development as Category 2, this enables neighbours to review plans and comment on details that are not possible to view or plan at the DPA stage. Whilst the Development Plan post the DPA has clear policy around envisaged use, height and form, to enable neighbourly relations, having a statutory consultation framework is considered reasonable in this sensitive environment, and is a continuation of the notification approach currently established in the NAH(C)Z.

Following consultation, it is recommended to maintain Category 2 notification except for minor works.

2. Maintaining Residential Amenity

Item 4 - Attachment

2. Maintaining Residential Amenity

DPA PROPOSAL

- The DPA maintains Council Wide policies in respect to residential amenity such as noise management, overshadowing and overlooking.
- The DPA proposes a number of site specific policies that amends the allowable built form in respect to height, bulk, scale and setbacks. The landscaped open space principle of the current Development Plan is maintained.
- The DPA proposes to use concept plans to provide guidance where new buildings on individual sites are envisaged.

SUMMARY OF COMMENTS FROM CONSULTATION

DPTI Comments

- Support for the DPA that allows regeneration of the health and education sites.
- Concept Plans are proposed to be introduced by the DPA for each institutional and college site. These are considered to be very detailed and provide a number of features including the following:
 - Sensitive heritage and character context
 - Important facades on site
 - Locations for low scale built form responding to site context
 - Locations for taller built form responding to site context
 - Low scale built form to respond to context views and vistas; and
 - Interface areas.
- The Principle of Development Control (PDC) associated with these Concept Plans is considered to be very prescriptive and provide far greater criteria than the existing principles.
- While Council (pre-consultation) made several modifications to both the Concept Plans and accompanying PDC to make the policy more streamlined and consistent between sites, the Department considers that the policy response offered by Council is a matter that still requires further attention. It is still considered that some of the additional detail provided in the Concept Plan and relevant PDC would be better placed as guiding principles in the Desired Character Statements for each Policy Area or removed altogether.
- Council is requested to consider (where relevant) further reducing the level of detail provided in the relevant PDC for each Policy Area by:
 - Relocating some of the criteria to the Desired Character Statements for each Policy Area.
 - Removing criteria already addressed by the Desired Character Statements.
 - Removing criteria already outlined or marked up on the Concept Plan.
- Ensure consistency in the level of guiding policy provided (e.g. Desired Character Statements / Concept Plan and associated PDC) for each Institutional site.

State Agency Feedback

Nil

Community Feedback

Landowners

- To varying degrees, expressed a desire to integrate with adjoining neighbours whilst acknowledging the need to remain viable and meet industry standards.
- There was a general desire to remove some of the detail and prescription of the policy framework. The use of Concept Plans and the retention of the sites in the NAH(C)Z was generally not supported.
- Site specific comments will be addressed in Section 5.

Other Stakeholders

- Concerns raised about the impacts of height, scale and intensity of developments. Comments about the height of development will be discussed in Section 5.
- A need to retain visual privacy.
- Overshadowing is a major issue, especially on sites contemplating heights above 4 storeys interfacing with existing residential properties. Overshadowing on streets.
- Concern at additional activity in area, and with noise, loading and built form on boundaries.
- Some submissions did not have an in principle concern with expansion on the sites however express the need to manage impacts on residential amenity.
- How detail on the Concept Plans addresses interface amenity issues with neighbours:
 - Most interface areas are highlighted, with some exceptions. Lincoln College (eastern boundary) and St Marks (western boundary) do not. Lutheran College (western boundary) has no graphic reference to 'Interface from adjoining boundary', even though 'low scale' development is highlighted adjacent to private homes. On other plans, such interface references do appear, including adjoining 'low scale' contemplations.
 - It is not clear what 'low scale' means.

COUNCIL REVIEW AND OPTIONS

As a predominantly residential area, seeking to maintain residential amenity whilst enabling regeneration and intensification on the sites is a key challenge and was one of the key issues raised through consultation.

Council Wide policies exist in the Development Plan and enable assessment of residential amenity matters such as visual privacy, overshadowing, bulk of walls near or on boundaries, and noise and disturbance (see Table 2.1)

Table 2.1: Residential amenity matters and relevant Council Wide objectives of the Development Plan.

Residential Amenity Design Matters	Relevant Council Wide Objectives of the Development Plan	Desired Outcome – Retaining Residential Amenity
Visual Privacy	Visual Privacy Objective 17	Low scale residential development sited and designed to protect visual and acoustic privacy for the occupants of the dwellings and nearby residents
Access to sunlight: Overshadowing	Daylight and Sunlight Objective 15 Micro-climate and Sunlight Objective 33 Objective 34	The protection of access to daylight and sunlight and the amenity of neighbouring residential premises. Buildings which are designed and sited to be energy efficient and to minimise micro-climatic and solar access impacts on land or other buildings. Protection from rain, wind and sun without causing detriment to heritage places, street trees or the integrity of the streetscape.
Noise and disturbance	Noise Emissions Objective 25	Development that does not unreasonably interfere with the desired character of the locality by generating unduly annoying or disturbing noise.
Odour	Waste Management Objective 28:	Development which supports high local environmental quality, promotes waste minimisation, re-use and recycling, encourages waste water, grey water and stormwater re-use and does not generate unacceptable levels of air, liquid or solid pollution.

The existing Council Wide policies for the assessment of proposed development that the DPA envisages on the sites is the same approach as other typically residential based zones such as the City Living Zone – which has larger sites on which more intense development can occur - and also the Adelaide Historic (Conservation) Zone.

Site specific concerns about height, scale and intensity of development will be discussed in Section 5 as the appropriateness of various heights is dependent on the site parameters.

The DPA proposed Concept Plans to accompany proposed word based policies in order to provide clarity for community members and applicants using the Development Plan. Concerns have been raised around use of 'interface' on some Concept Plans and not others, and query raised regarding meaning of 'low scale'. In

addition, DPTI sought to ensure consistency in the level of guiding policy provided for each Institutional site e.g. Desired Character Statements / Concept Plan and associated Principles of Development Control.

It is recommended the Concept Plans are amended to identify where development is envisaged rather than identify matters for consideration (as these are covered by written principles for each Institution and College site). Table 2.2 below considers the detail proposed on the Concept Plan and identifies recommended actions.

Table 2.2: Detailed proposed by the DPA Concept Plans and recommended actions post consultation.

Detail on Concept Plan	Recommended Action	Rationale	Consistent with other Concept Plans in the Development Plan?
Site Boundaries	Retain	Need to ensure policy only applies to site. Linked to PDC 16 Non-complying list.	Yes
Low scale	Retain and specify height i.e. X levels in height.	Important to be specific where additional built form could be accommodated. Important to identify building heights for clarity	Yes
Taller built form	Retain and specify i.e. up X levels in height.	Important to be specific where additional built form could be accommodated. Important to identify building heights for clarity	Yes
Interface	Retain	Need to identify sensitive boundaries and where the building envelope policy would be applicable. Generally only applied on residential boundaries.	Yes
State Heritage Place	Retain	Important context.	Yes
Local Heritage	Retain	Important context	Yes
Views and vistas	Clarify	On a site by site basis these will be clarified.	Amended to be consistent
Important Facades on Site	Remove	Remove detail on plans. Policies are in place that will ensure the appropriate design treatments of heritage places.	Amended to be consistent
Sensitive Heritage	Remove	Remove detail on plans Policies are in place to ensure new	Amended to be consistent

and Character Context		development is designed with regard to heritage places, and for each site, buildings in landscaped settings (reinforced with 50% landscaped open space principle) is proposed in the DPA	
Policy Areas boundaries	Retain	Important to provide policy context. Different desired future characters are in place through the various policy areas. These are relevant in the assessment of applications.	Yes

In addition, following consultation and DPTIs comment, each site's proposed policies and concept plans have been reviewed to increase the level of consistency of terminology.

In the assessment of development, the Concept Plans work in conjunction with the word based policies, eg Desired Character Statements and Principles of Development Control, as well as Council Wide policies. Together, these policies guide the assessment of the merits of, for instance, a proposed building.

Various comments from consultation regarding each site will shape both the policies and the Concept Plan, and refer to Section 5 for detail. What this means in practice is that building development can occur in proximity to neighbour's properties, but how close, how high at what distance, the extent of articulation and variation in the façade, its orientation in relation to movement of the sun, are all factors that influence the respective merits of whether a specific 3 – 4 storey building at the boundary of one of these sites will be granted planning consent.

As well, buildings greater than 1 storey are typically not seen as 'minor' and are thus under the DPA, would be subject to Category 2 public notification. This means neighbours can review and comment on the precise detail of what is proposed, and the applicant is obliged to consider and respond to the comments. The planning authority then considers comments and applicant's response, and determines on the merits of the proposal as to whether or not to grant consent.

It is acknowledged that the DPA is proposing intensification on these sites, meaning, more activity and more height. If the DPA proceeds to become the Development Plan, the Plan will envisage and enable the heights proposed in the DPA. Thus, for example, buildings upto 4 storeys may be granted planning approval at St Anns, but these interface and amenity matters will need to be considered and the merits of the proposal will be assessed.

Likewise, what constitutes 'low scale' will depend on the locality and each site. For example, the Finnis Street frontage of Kathleen Lumley can be redeveloped under the DPA for low scale buildings up to two storeys, with higher upto three storeys setback midblock. The precise design and detail of the 'low scale' frontage will need assessment, with the existing buildings in the street, their appearance, character and spacing, being a fact that is taken into account in assessing the design of the proposed 'low scale' dwellings.

In relation to additional overshadowing of streets and footpaths, it is probable that in comparison to building development that might be possible under the current Development Plan, it is probable that under the DPA that shadowing of streets will be increased. Nonetheless, the DPA typically seeks low scale, 1 – 2 storey buildings to street frontages, with higher height buildings towards the centre of the sites. In some cases, shadow will be within the sites. In any event, the extent of additional shadow that might be possible is minimal and not considered so significant as to warrant particular height adjustments over and above those in relation to seeking suitable interface relationships with adjacent residential properties.

It is recognised that the DPA allows increased activity through more development and height on these sites. This process of consultation on the proposed DPA enables consultation and consideration of a variety of comments at the policy setting stage of planning a more intense future of these sites. On balance, it is considered the extent of change envisaged for these sites by the DPA together with existing policies and the detailed consideration of neighbours comments through Category 2 notification enables residential amenity to be maintained.

Continue existing Council Wide policies to provide residential amenity (Visual Privacy, Overshadowing (Daylight and Sunlight), Micro-Climate and Sunlight, Noise Emissions and Waste Management).

Amend proposed principles and concept plans to use consistent terminology and imagery, and to better align with other existing concept plans in the Development Plan.

3. Acknowledging North Adelaide's Heritage Value

Item 4 - Attach

3. Acknowledging North Adelaide's Heritage Value

DPA PROPOSAL

- The DPA proposes site specific changes to the North Adelaide Historic (Conservation) Zone and introduces Policy Area 13, seeking that development is compatible with and retains the heritage values of the area.
- The DPA proposes site specific policy to guide the location of new buildings in relationship to the heritage places and the historic character of each site and locality. This is supported by a Concept Plan.
- The DPA seeks to retain the public realm contribution of historic built streetscapes i.e. front yards and low scale buildings to facing streets.
- Where not detrimental to the streetscape, the DPA proposes additional development capacity ranging between 1 to 6 storeys (based on size of allotment, configuration, streetscape and heritage buildings on site).
- The DPA retains policies seeking development to be in keeping with the character of existing building stock (e.g. compatible scale, form, siting, materials and colour and detailing).
- The DPA maintains heritage places, both State and Local Places and does not list additional properties as State or Local Places.
- The DPA does not propose any amendments to the listing of individual heritage places except to remove one Local Heritage Place that has been demolished at Kathleen Lumley.
- The DPA does not amend any existing policies in relation to development on or adjacent to heritage places.

SUMMARY OF COMMENTS FROM CONSULTATION

DPTI Comments

- The continued use of the Historic (Conservation) Zone for the eleven sites has resulted in a somewhat restrictive policy approach to the future development of the sites.
- It is evident that the Zone is still very heavily residential focused which is evidenced by the zone objectives, principles of development control and Desired Character Statements.
- While Council has made targeted amendments at the Policy Area level to provide the necessary context for the future redevelopment of the individual sites, the Department still considers that the Zone provisions also need to be amended.
- Council is requested to consider including additional detail to the Desired Character Statements (and relevant objectives and principles) for the zone that provides greater focus on the redevelopment opportunities offered by the large institutional and college sites.

State Agency Feedback

Nil

Community Feedback

Landowners

Various comments were provided by land owners (comments on specific sites refer Section 5):

- The current Development Plan substantially constrains their sites making regeneration and redevelopment difficult.
- Amendments are critical to enable planning for the future with more certainty and confidence.
- Believes significant restraints will remain if the DPA is authorised in its current form.
- Some support for the key DPA proposals for the site.
- Future redevelopment will include some adaptive re-use of heritage listed buildings. There must be flexibility to allow change to ensure facilities remain fit for purpose.
- A new, specific zone is requested. All of the sites are largely within the NAH(C)Z, which is about low rise residential development with an emphasis on historic character preservation. The zone does not reflect the nature, function and role of existing Institutions.

Other stakeholders

- Various comments have been received and among all the comments, the need for heritage conservation is considered paramount.
- Concern that the DPA will significantly damage the character of North Adelaide's HCZ. It contradicts the principle that the character should be conserved across all of its policy zones through consistent and equitable planning policy in relation to its:
 - heritage buildings;
 - pattern of development; and
 - blending of new buildings into existing streetscapes.
- There is a strong desire to ensure that the residential heritage is maintained in the locality.
- Questions have been put forward regarding the intention of the Historic Conservation Zone when the DPA does not maintain its values and protection. Buildings need to reflect the high quality of North Adelaide.
- Suggestions for additional heritage listings were made in relation to various buildings.
- Concerns from various land owners about "protecting" buildings that are not heritage listed through limiting development capacity.

- Comments around the recent S29 matter in respect to demolition of Local Heritage and State Heritage Places.

ICOMOS

- Concerned that proposed changes would erode the important heritage values of North Adelaide that have been carefully managed through previous provisions of the Development Plan over time.
- Concerned about:
 - New allowances for greater height within the policy areas occupied by the various institutions.
 - Amendments to plot ratio, where the need to have regard to the stated plot ratio is now deleted, would likely lead to weakened character protection.
 - The intent to introduce new land uses into a Historic Conservation Zone (HCZ) requires detailed explanation and appears to focus on greater development intensity within the Zone.
- Incompatibility of objectives within Policy Areas with the anticipated developments e.g. in the Hill Street PA1, the Desired Character statements notes it "should remain one of the lowest density residential areas in Upper North Adelaide and should be protected and enhanced as one of the most historically intact residential areas in South Australia. However, the new developments anticipate proposed expansions for St Dominic's; the Helping Hand; and Calvary Hospital which are incompatible with this Desired Character and the existing Objectives.
- North Adelaide is very important to the cultural significance of the City, being part of Light's original plan. It has long been held as a "jewel" area, visited by many, and appreciated by local residents. High property prices reflect its treasured character and inner city location. It is imperative that this character is not undermined by inappropriate new development that would destroy the significance of the locality.

COUNCIL REVIEW AND OPTIONS

Acknowledging North Adelaide's heritage value is one of the four guiding principles for this DPA. It relates to post 1836 settlement with important Kaurana heritage acknowledged through other means.

For North Adelaide, heritage and character protection and enhancement is paramount to the suburb's history, amenity and ambience.

Issues raised in consultation relate to:

- Whether the NAH(C)Z adequately acknowledges the 11 sites at the Zone level and provides sufficient certainty for the owners, including whether a specific zone for the 11 sites is warranted
- Whether the DPA enables adaptive reuse of buildings designated as heritage places, suggestions for further buildings to be heritage listed and the recent S29 amendment re demolition

- That what the DPA envisages will significantly damage the acknowledged heritage character of North Adelaide



Figure 3.1 Sites subject to the DPA and timeline

Acknowledgment and Certainty of the Institutions and Colleges in the NAH(C)Z

Figure 3.1 identifies that the institutions and colleges have played a vital and long term role in North Adelaide's historic pattern of development, varying from 51 to 140 years.

The 30 Year Plan for Greater Adelaide identifies the need to ensure a policy framework that conserves the heritage, character and scale of valued residential precincts of North Adelaide while allowing sympathetic and complementary development.

As outlined in Section 1, the 11 sites as existing are misaligned with existing Development Plan policy, particularly in relation to height and plot ratio.

This DPA has been drafted to plan for the regeneration needs of the colleges and institutions whilst responding to North Adelaide's heritage and historic character values, and in so doing, to better align the Development Plan with the 30 Year Plan for Greater Adelaide, this alignment being a requirement of the *Development Act 1993*.

Aside from the more commercial zones along O'Connell and Melbourne Streets, North Adelaide is located entirely – including the 11 sites - within in the North Adelaide Historic (Conservation) Zone and within 12 Policy Areas of distinct future character.

The NAH(C)Z objectives are to:

- Ensure development enriches rather than diminishes the acknowledged heritage value and historic character of North Adelaide, including the setting of heritage places, and their built form contribution to each locality.
- Guide an increase in dwellings through redevelopment of buildings that are not heritage places, or development for residential purposes of vacant land or non-residential uses

As such, the purpose of the NAH(C)Z is to ensure new development is compatible with the heritage values. In practice, new buildings in the NAH(C)Z do not need to imitate historic detail or be subject to inflexible design rules. Designing infill development in a historic context is a challenge and opportunity for designers. A wide range of development solutions may emerge after careful analysis and preparing a design that would allow a sympathetic interpretation of the design elements of the NAH(C)Z and relevant Policy Area.

This DPA proposes to change the NAH(C)Z and a number of its Policy Areas in relation to the land comprising the long established institutions and colleges.

The tension implicit in the 30 Year Plan goal of heritage conservation 'whilst' allowing sympathetic and complementary development is the task of this DPA to balance for these 11 sites.

It is an unavoidable fact that the institutions and colleges have been part of North Adelaide for between 50 and 132 years. Looking back and currently, they have and

do contribute to what comprises North Adelaide. All 11 sites include heritage listed buildings as a part of their building stock. As outlined in Section 1 around economic synergies, the long term future of the City involves significant growth in the health and education sectors occurring in more growth oriented zones, and for these existing sites located amongst long established historic residential fabric and character, certainty needs to be provided for limited growth to occur taking into account historic character and amenity.

As such, this DPA proposes to change the Development Plan to provide for increased development potential for each site and as investigated in Section 5, in a specific manner for each site.

In relation to comments seeking a standalone zone, the rationale for such a suggestion around providing specific certainty is understood but raises similar issues to those raised in consultation around what should the policy be within that specific zone, where should the boundaries be drawn, land uses within and without that zone, and how does it relate to adjoining, often historic residential dwellings? Similar questions arise with the option of a specific policy area for the 11 sites.

Following consultation, it is not proposed to revise the DPA to create standalone zones or policy areas, apart from continuing with the proposed Policy Area for the Lutheran land and a number of adjoining sites.

There are a number of advantages to the proposed DPA approach.

- The existing NAH(C)Z has policy for the 11 sites, and this DPA proposes revisions to that policy.
- Amendments are specific for each site, and are able to be written with consideration to each sites neighbouring sites and nearby locality. Having the desired futures for each site written within each Policy Area and the Wider NAH(C)Z provides clarity for the future of the sites and for use in planning assessment.

DPTI outline that the existing NAH(C)Z is residential focussed and a series of amendments should be made to the zone – including regarding desired character statements - regarding the redevelopment opportunities on the institution and college sites. In order to adequately recognise the colleges and institutions as integral components to the Zone's heritage value, additional policy to the Zone Desired Character Statement and the relevant Policy Area for each site is suggested to be added.

Following consultation, add further policy:

- At the Zone level in the Desired Character statement recognising that 'North Adelaide has historically developed a role in the health and education sectors through established public and private organisations on large land holdings. Many of the organisations are on prominent sites and provide an important range of education, student accommodation, health and aged care services.'
- In each relevant Policy Area's Desired Character Statement, for example, in the Hill Street Policy Area regarding Calvary, St Dominics and Helping Hand, add 'Helping Hand Aged Care will be a valuable multi-functional aged care facility providing a variety of levels of care and accommodation for the elderly

community. St Dominic's Priory College will continue to be associated with educational land uses. Calvary Hospital will provide hospital uses such as patient care, research, consulting rooms, visitor accommodation and ancillary shops, cafes and pharmacies. Small shops are appropriate to activate Strangways Terrace. Development of these long established institutions should meet the community needs and future requirements by adapting to demographic change, technological advances and legislative requirements whilst reinforcing the heritage value and amenity of the Policy Area'

Heritage Places and Development Affecting Heritage Places

Through consultation, it is evident many of the current buildings at the institutions and colleges – including designated heritage places - do not meet current industry standards or present day market demands nor would meet the needs of the emerging education and health markets.

Whilst the land owners have had a long standing track record of adaptively reusing their heritage buildings, the DPA proposes to increase the scope for reasonable development across the sites – as well as in relation to potential use of existing heritage listed buildings. The intent is to underpin the ability of the institutions and colleges to plan for their futures, including the futures of the heritage designated buildings.

During consultation, comments were made in relation to the listing of additional buildings as heritage places. Whilst Section 5 provides responses regarding specific buildings, the scope of the DPA did not include the ability to list any additional buildings as Local Heritage Places, noting that State heritage designation occurs through the separate *Heritage Places Act*.

Similarly, the DPA maintains the current Development Plan policies around demolition and adaptive reuse of buildings designated as heritage places. This includes recent Ministerial Section 29 amendments regarding demolition.

Consultation feedback on this DPA has confirmed Council's opinion previously expressed to the Minister that the Section 29 would not fix the supposed uncertainty around development that involves some demolition of a local heritage place. Council has always interpreted the provisions as nominating that proposals to remove the whole of a heritage designated building are subject to the non-complying trigger.

DPA Impact on Heritage Character of North Adelaide

One of the questions raised in consultation is whether what the DPA proposes in terms of change for the 11 sites is so at odds with North Adelaide's heritage values that the DPA should either not proceed or be modified.

The current Development Plan has some policy for most of the sites. The DPA changes the current Development Plan by creating specific and up to date policy for each site in relation to envisaged height, buildings set in landscaped settings, built

character to street frontages, and in relation to enabling variety of health and education related uses on each site.

The proposed policies for each site are being prepared with regard to existing heritage buildings on and adjacent to each site and the existing historic character of streets which is sought to be maintained into the future.

Taking into account these factors, the site specific plans generally envisage 1 – 2 storey buildings to the street frontage, with taller parts of buildings behind or midblock.

Where the DPA envisages higher buildings, such as 4 to 6 storeys in different sites, these are sought to be located midblock and away from street frontages. The general approach is to seek building footprints that are broken up with indents and articulation, and set amidst landscaped open space.

The intent is that the historic pattern of domestic scale 1 – 2 storey buildings with spaces in between forming a rhythm along the street frontages is reinforced by new buildings to street frontages, and also picked up in new midblock taller buildings that follow the grid pattern and are interspersed with spaces inbetween.

Section 5 outlines the intended approach for each site taking into account consultation comments for each site.

The DPA is anticipated to enable buildings able to be built that are not able under the current Development Plan which whilst bringing change, are considered to be appropriate in terms of representing a new stage in the development and contribution of the institutions to the historic fabric and value of North Adelaide.

Following consultation, add further policy at the Zone level in the Desired Character statement recognising that 'North Adelaide has historically developed a role in the health and education sectors through established public and private organisations on large land holdings. Many of the organisations are on prominent sites and provide an important range of education, student accommodation, health and aged care services.'

4. Integration with Smart Move

Item 4 - Attachment

3. Integration with Smart Move: City of Adelaide Transport Strategy 2012/22

DPA PROPOSAL

- DPA maintains Council Wide principles seeking provision of adequate on-site parking, as well as assessment in relation to development supporting public transport, cycling and walking, are in place. In addition, the following Council wide parking rates will continue as follows in summary:
 - Hospital/Consulting Room – 1.5 Spaces/bed
- The current Development Plan principle for Lincoln College that outlines that floorspace should only increase if on-site parking increases is proposed to be removed.
- DPA encourages the provision of basement parking to maximise the floor space allowable on each site and to minimise impact to streetscape and adjoining dwellings.

SUMMARY OF COMMENTS FROM CONSULTATION

DPTI Comments

No specific comments

State Agency Feedback

Nil

Community Feedback

Landowners

- Concern about basement parking and viability issues.
- Concern about lack of public transport to reduce the need for parking.
- Concern for safety of employees and students when parking on the street and walking around the area.

Other stakeholders

- Concern around perception there is existing pressure on car parking. Already difficult to find convenient parking.
- Perception there is a shortfall in car parking at the moment in North Adelaide due to existing land uses, Adelaide Oval parking and overflow from Main Streets.
- Concern for the increase in student, worker and visitor population and how they will access and use the sites.
- Concern for the level of parking provided on site and whether it will be enough.

- Car parking is a major concern and whilst most zones include "...new development should provide on-site car parking to cater for any increased demand", the word 'should', could be changed to 'must' otherwise it can easily be ignored.
- Commuter parking an issue that the DPA may exacerbate
- Stakeholders who commented on style of parking seemed to prefer basement.
- Concern for low frequency and provision of accessible public transport, and at the level and perceived lack of infrastructure planning. Existing public transport is considered difficult at the moment with buses often full from North Adelaide to City.
- Concern as the DPA was not accompanied by a specific traffic and parking study. The DPA does not accord with Smart Move or provide an "integrated transport response".

COUNCIL REVIEW AND OPTIONS

The Development Plan provides the guidelines for the future use and building development of private land. The Development Plan is able to address transport and parking matters regarding ensuring suitable access is provided to a site, that suitable facilities are provided on the site (eg parking and other end of trip facilities), and that traffic generated by a site is appropriate.

Strategically, the State Government's Integrated Transport and Land Use Plan (ITLUP) outlines a infrastructure and services across a wide variety of transport modes to accommodate the population growth anticipated by the 30 Year Plan for Greater Adelaide. ITLUP closely aligns with Councils "Smart Move: The City of Adelaide's Transport and Movement Strategy 2012-22".

During consultation, issues have been raised in relation to transport and parking, many being site specific. This section will discuss:

- Integrated Transport Response
- Parking Design

Integrated Transport Response

One of the primary issues heard during consultation related to the added pressure additional development is likely to have on existing transport systems. How the DPA resolves this matter will have flow on affects to other areas such as residential amenity and heritage conservation.

It is acknowledged that each of the 11 sites in their existing circumstances has varying degrees of reliance on street car parking which is unable to be altered by DPA. The Development Plan, and this DPA, can only set standards that guide future new development.

To accommodate additional development on the sites, the DPA proposes to retain the car parking requirements of the existing Development Plan. This means the Development Plans car parking rates requiring more on site car parks seeks to minimise added demand on on-street parking. However, additional onsite parking

does not resolve the impact of increased traffic volumes on the neighbourhood and available parking influences travel behaviour by encouraging people to drive rather than use alternative modes.

In parallel with Development Plan policy, transport planning for these sites needs to consider more sustainable and carbon neutral forms of transport, such as improved walking, cycling and public transport services and infrastructure. Council has influence over walking and cycling, and in accordance with Council's Smart Move Strategy, improvements will be progressively pursued over time.

It is proposed that Council continue working with the various land owners to deliver these improvements.

It is also proposed Council work with and advocate to the State Government to improve public transport as many of these sites are within walkable catchments of public transport routes. Further development on these sites underscores the need to ensure the timing of transport upgrades coincide with future development. Ensuring transport provision is adequate will influence the following:

- Sustainable travel behaviour through ensuring transport services match trip demand
- Reduce the need for off street parking, potentially reducing the cost of development
- Reducing the pressure upon on-street parking
- Reducing the pressure of traffic volumes on streets and impacting amenity

The timing of these upgrades will be crucial to ensure sustainable travel behaviour is facilitated.

Following consultation, it is proposed that:

- Council continue to progress multimode requirements identified in the Smart Move Strategy
- Overtime as the sites develop, will continue to work with land owners to progressively improve travel behaviour, deliver public realm improvements and improved transport and access outside the site of developments.

In conjunction with the DPA being progressed to the Minister for Planning, Council also write to the Minister for Transport regarding continuing to work to deliver the Integrated Transport and Land Use Plan.

Parking Design

The DPA seeks for basement car parking and consultation raised concerns in relation to the impact that may have on viability of developments.

Development potential in North Adelaide is shaped by the heritage value that includes urban form, scale and landscaped setting. For instance, buildings can only be built to certain height before they will unduly diminish the heritage value. Visibility

of parking structures also need to be minimal, for example moved away from the street and adjoining residential boundaries. In most cases for the institution and college sites, basement parking is the desired design as it allows parking to be provided without unduly impacting the adjoining neighbours and the historic street scape.

The DPA has been drafted with a view to accommodate the health and education sectors over the long term. The DPA provides ways for additional floor space to accommodate improved facilities through more rooms of various sizes and functions. In terms of viability, the DPA provides additional development capacity enabling a variety of design options.

It is considered that the additional development capacity has been provided in the DPA to support design treatments such as basement parking. Whilst basement parking under the current Development Plan may not be feasible, the DPA increased development capacity may allow a better business case.

In concert with the Council wide transport policies that are being maintained, the policies seeking basement parking on each site will ensure sites consider their long term transport needs when planning their future. This will allow long term planning to accommodate the highest and best use of land over the short term considerations and to ensure the heritage values are maintained through the retention of the historic scale.

No change is recommended in terms of the preference for basement parking as desired design solution.

Continue to require an integrated transport response for each site.

Retain existing parking rates for the various land uses. For consistency in the Development Plan, site specific policy will not refer to specific car parking rates i.e. no site specific policy rather Council Wide. .

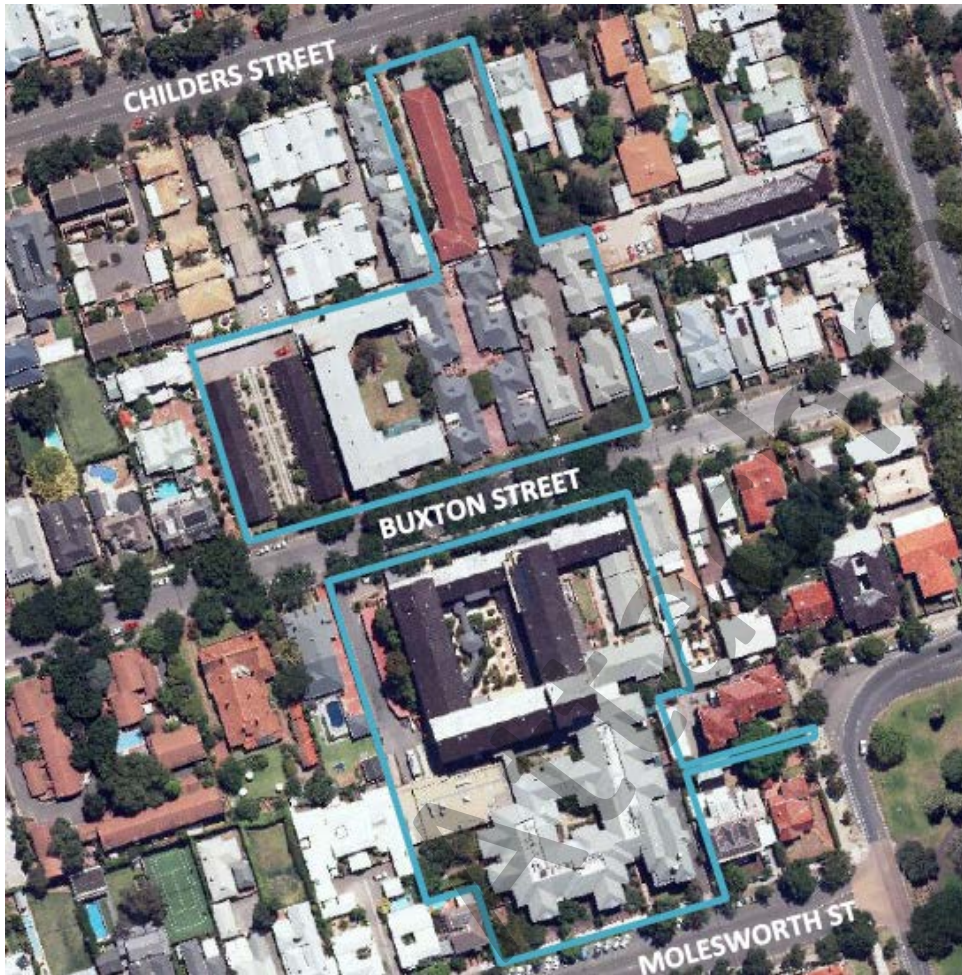
Continue to encourage the provision of basement parking to maximise the floor space allowable on each site and to minimise impact to streetscape and adjoining dwellings.

5. Site Specific Comments

The following section provides analysis of consultation comments and recommendations in relation to each site.

Item 4 - Attachments

5.1 Helping Hand Aged Care



DPA PROPOSAL

The DPA proposes the following for the Helping Hand Aged Care site:

- Amend policy to allow a multi-functional aged care facility across the entire site, with a variety of levels of care and housing models to provide suitable accommodation for the elderly.
- Remove 'nursing home' from the non-complying trigger on the Helping Hand site
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 4 building levels (current maximum 2 building levels) where sited away from street frontages and adjoining residential properties.

- Retain existing desire for low scale streetscapes and landscaped open space provisions to reinforce that new development should integrate with the local character.
- Continues to seek landscaped open space of 50% to break up building mass.
- Removes plot ratio.
- Seek new car parking areas to be located at basement level.

SUMMARY OF CONSULTATION

DPTI Comments

- Identified a number of inconsistencies in the revised non-complying list. There are a number of land uses exempted from non-complying classification in some Policy Areas that are not exempted in others that contain similar institutional uses.
- Would like additional detail added to the Desired Character Statements to guide the future redevelopment of the site in terms of:
 - Identifying the preferred mix of land uses.
 - Identifying the opportunities in encouraging a new urban or development form.
 - The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) which hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Nil

Community Feedback

Landowner

- The proposed changes to the Development Plan provide clear recognition of the importance of Helping Hand and an opportunity for Helping Hand provide additional and varied forms of aged housing and care in the City.
- Include a definition of Seniors Housing in Schedule 1 of the Development Plan. The NSW State Environmental Planning Policy (Housing for seniors or People with a Disability) 2004 is useful starting point for defining 'seniors housing'.
- Remove 'Nursing Home' from the list of non-complying land uses in the North Adelaide Historic (Conservation) Zone NAH(C)Z
- Amend principle 25(d) of the non-complying provisions to delete part (i) (c) which seek to impose a building height of not more than 4 storeys and 12m on buildings on the Helping Hand site. The non-complying trigger fails to recognise the variety of design and siting options that can minimise the impacts of multi storey buildings.

- The DPA contains a series of specific design guidelines at PA1 (Principle of Development Control 11), which seek to new multi storey development on the Helping Hand site to be integrated into the streetscape whilst respecting the low level historic character of the locality. In conjunction with existing Council Wide policies, there are numerous design controls and performance measures to ensure the scale, streetscape, visual and environmental impacts of development are compatible with the locality, without the need for applying a definitive cap on building height.

Other Stakeholders

- Supports the sustainable growth of the Helping Hand and recognises the need for aged care places will increase in future.
- Concern about the potential height of future buildings and their proximity to existing low scale residential. A 4 storey high development will dwarf existing homes and affect the appearance from the street, compromise privacy and limit the amount of sunlight to their garden.
- Large buildings can impact on the outlook of neighbours and dominate private open space. Should be adequate setbacks to provide privacy and moderate visual impact of building bulk
- Ensure access to daylight and sunlight. Concerned about the overshadowing of windows and backyards.
- The location of the site is a concern as it is situated in a primarily residential section of North Adelaide on sites that may be extended through acquisition.
- Further development will lead to increased staffing, visitors, parking requirements, air conditioning, kitchen, laundry and gardening services.
- Currently there is limited on-site parking for workers and none for visitors, volunteers, or the students, further development will worsen the situation. Buxton Street cannot take any further impact from increased on-street car parking demand.
- The density, overshadowing, street parking and access for delivery vehicles has the potential to impact most on surrounding residents. Further development will lead to increased unreasonable disruption to residents.
- Enforce new development to provide on-site car parking to cater for any increased demand (preferably underground)
- Demolition and rebuilding of a 4 storey structure will generate noise and pollution affecting residents as well as additional parking pressure from workmen and construction.

COUNCIL REVIEW AND OPTIONS

Helping Hand has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Helping Hand and to enable its intensification within its current site rather than expansion to adjacent sites.

Land Use

The DPA released for consultation enabled 'nursing home' to be assessed on its merits within the site (rather than the current Developments Plan's non-complying designation).

Comments have been received around ensuring the definitions allow merit consideration of Helping Hands existing activities. It is noted, in terms of land use, the DPTI Planning Policy Library utilises the term 'nursing home'. Seniors housing or supported housing is not explicitly defined by the Development Act.

In addition, the Adelaide (City) Development Plan has not been converted through the "Better Development Plan" process and has some nuances with terminology. Following consultation, advice has been sought to review the land use terminology to allow the continuation of the existing use which includes a multifunctional aged care facility with a variety of levels of care providing accommodation for the elderly community.

In respect to nursing home, no change is considered necessary to the DPA as proposed. For clarification, it is recommended to amend the non-complying list for the Helping Hand site to enable assessment via a merit process for 'Day Care Centre' rather than "Day Centre".

Recommendation:

Following consultation, enable the 'merit' assessment of a day care centre (rather than Day Centre) on the Helping Hand site.

Built Form

The currently allowable maximum building height is 2 building levels and 6 metres (measured from the ground level to the top most ceiling).

The DPA proposed to continue the existing policy along the streetscapes of Buxton, Molesworth and Childers Street, allow built form between 1 -2 storeys.

The DPA proposes additional building height up to 4 storeys, which matches the height of the tallest existing building on the site. Low scale built form would continue to be sought to the adjoining boundaries



Figure 5.1.1 Modelling of the DPA as released for consultation

The cross section in Figure 5.1.2 prepared by Council and released as part of consultation also illustrates one way that the site may be developed for taller buildings away from street frontages and lower buildings to street frontages. Note this is an illustration only.

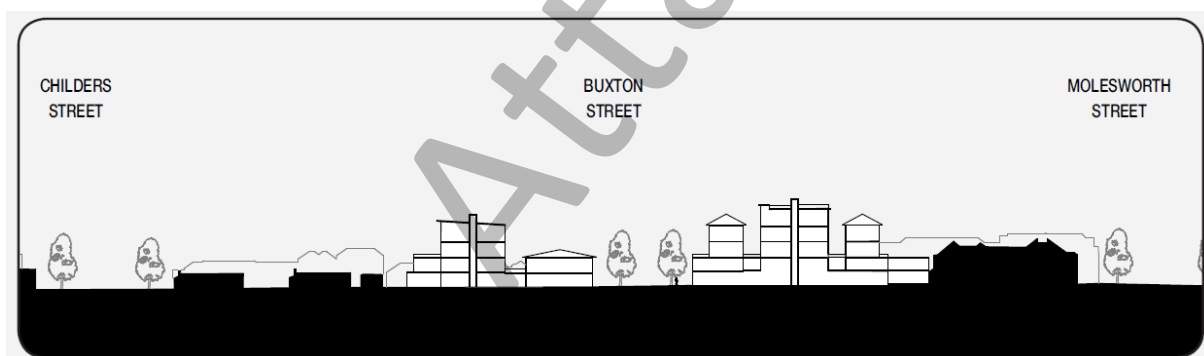


Figure 5.1.2: Helping Hand Cross Section

Given the size, shape and orientation additional height is able to be accommodated whilst managing impacts to residential amenity (such as overshadowing, bulk, scale, daylight and sunlight). As such no change to DPA building height policy is recommended.

Set backs

The DPA Concept Plan did not have a large set back from the adjoining boundaries. Whilst set back policies would apply, following a review of submissions, there is a need to provide more of from set back from boundaries. This would be additional to the “building envelope” policy (which provides guidance to ensure large built form is set to the centre of the site).



Figure 5.1.3: View of Helping Hand side boundaries following consultation.

Figure 5.1.3 shows the built form taken off the adjoining boundaries. Whilst built form may be considered on merit in these locations and on boundaries, a range of factors determine suitable siting, setbacks, massing and form of a building on a boundary, the concept plan seeks building form set off the boundary. The historic pattern of buildings involves side setbacks and spaces between buildings, and this approach is consistent with that proposed in Aquinas College.

It is also recommended, concept plan be amended to clarify the areas for taller built form to indicate a greater set back from the boundaries.



- 1 Hill Street Policy Area
- 2 Childers East Policy Area
- 3 Wellington Square Policy Area

- Helping Hand Aged Care
- Low Scale Built Form to Respond to Context
- Taller Built-form Located to the Central Areas of the Site
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- Views and Vistas
- Important Facades on Site
- Sensitive Heritage and Character Context
- Policy Area Boundary



ADELAIDE (CITY)
 HELPING HAND AGED CARE
 CONCEPT PLAN
 Fig HS/3
 Version A 30/1/15

Figure 5.1.3: Concept Plan Released for Consultation



- 1 Hill Street Policy Area
- 2 Childers East Policy Area
- 3 Wellington Square Policy Area

- Helping Hand Aged Care Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) HELPING HAND AGED CARE CONCEPT PLAN

Fig HS/3

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Figure 5.1.3: Concept Plan following consultation. Amendments to set backs from adjoining residential boundaries. “Low scale” in light orange has been taken off of the boundary. Taller built form provides a greater set back.

Recommendation:

Following consultation, it is recommended to continue with the DPA proposal to require low scale streetscapes 1 -2 storeys and allow up to 4 storeys towards the centre of the site. It is recommended the Concept Plan is amended to show an increased setback from the adjoining residential boundaries.

The areas for taller built form have also been clarified on the Concept Plan to reduce taller built form near residential boundaries.

Item 4 - Attachment E

5.2 St Dominic's Priory College



DPA PROPOSAL

The DPA proposes the following for the St Dominic's Priory College site:

- Allows the continuation of educational activities from early childhood to secondary education within the site, with 'Educational Establishment' outside the site subject to non-complying.
- Remove 'Primary School' from non-complying trigger in Policy Area 1, as is the case through the balance of North Adelaide.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Retains the visual prominence of State and Local Heritage places by retaining views and vistas along Molesworth Street in particular the Church of Perpetual Adoration
 - Guides the appropriate location of new buildings, identify elements that make up the local character, interface from adjoining boundaries and where additional height may be appropriate
 - Allow for buildings up to 3 building levels (current maximum 2 building levels) where sited away from street frontages and adjoining residential properties
 - Removes plot ratio.

- Continues to seek landscaped open space of 50% to break up building mass.
- Minimise the impact of vehicular access and student pick up and drop off on residential amenity.

SUMMARY OF CONSULTATION

DPTI Comments

- Identified a number of inconsistencies in the revised non-complying list. There are a number of land uses exempted from non-complying classification in some Policy Areas that are not exempted in others that contain similar institutional uses.
- The level of detail in the draft Concept Plans and associated Principles of Development Control's which hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Rachel Sanderson Member for Adelaide MP (on behalf of constituents):

- On-street car parking is a major concern.
- St Dominic's would like to be able to expand outside the current boundaries and have them changed to educational zones.
- Not sure how residents would feel about this, would depend where and current use of land purchased.

Community Feedback

Landowner

- Amendments to the DPA are necessary to enable planning for the future with more certainty and confidence. The combination of the proposed non-complying height control triggers, the Concept Plan and proposed associated amendments to the relevant Policy Area provisions result in a continuation of the current significant constraints on regeneration and redevelopment.
- There is a need for large flexible spaces which require significant structural and services elements built into the building fabric to meet current codes, the proposed height is too restrictive.
- To renovate any of the existing 2 storey buildings and add additional floor will push the height over 9 metres. Much of the existing building fabric along the street frontages exceed the max 2 storey/6 metre height limit, which includes the Hill Street 2 storey classroom and science building, the primary school along Barnard Street and the Chapel to Molesworth St.
- The 3 metre height is a domestic height limitation with the further required 45 degree setbacks for any levels above restricts the College to single storey construction to a large portion of its perimeter. This is a contradiction to the

existing campus, where there currently exists many of its existing building fabric exceed this height limitation. This includes the current Hills St double storey Classroom and Science building, the existing Gymnasium Building and a portion of the existing Hall.

- Proposed 9 metres/3 storeys maximum for any future developments has a number of major concerns and contradictions. There are a number of existing building forms which exceed 9 metres, with the Chapel's northern gable measuring approx. 15 metres and the steeple measures approx. 20m plus. The Drama and Music Centre building is approx 14.5 metre in total which matches the height to the existing southern Chapel expansion with its Archive Room on ground floor, and Offices and Stores on the two levels above. These buildings will require a lift to meet the Disability Discrimination Act which will exceed the height requirement.
- Concept Plans will constrain regeneration and redevelopment. The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and Concept Plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.

Other Stakeholders

- Concerned about the possible loss of view between the cottages and the Church along the Molesworth St frontage.
- The potential increase in the physical size of St Dominic's Priory College.
- Concern about the consequent increase in traffic, including heavy delivery vehicles, trades vehicles and their associated noise.
- Concern that increased student numbers will result in increased traffic congestion at school drop off and pick up times, both private vehicles and school buses;
- Parking requirements for staff, tradespersons/contractors and visitors to the college and flow-on implications for reduced parking availability for neighbouring properties

COUNCIL REVIEW AND OPTIONS

St Dominic's has 'existing use' rights under the Development Act 1993 as an education establishment. Section 1 – 4 recommends the continued support for St Dominic's and to enable its intensification within its current site rather than encourage expansion to adjacent sites. Given the desire to constrain development to the existing site, the DPA proposed changes that would allow expansion of the site through additional development on the site.

Land use

The DPA proposes to ensure that the existing land uses are merit. For St Dominic's this included clarifying the non-complying definitions by providing an exemption for St Dominic's existing site to occupy as an education establishment however throughout the policy area it would be non-complying.

In order to clarify the non-complying list this also required deletion of the primary school from the non-complying list. An **educational establishment** means a secondary school, college, university or technical institute, and includes an associated pre-school, primary school or institution for the care and maintenance of children.

In the current Development Plan, a 'primary school' is a non-complying use in Policy Area 1, including for land adjacent St Dominic's, The DPA removed this terminology as it is covered by education establishment.

The amendments removed duplication of primary school and education establishment. This mean St Dominic's can expand within their existing boundaries on "merit".

Following consultation this is considered appropriate and no changes are recommended to the envisaged land uses for this site or throughout the policy area.

Built form

The building height in the current Development Plan is 2 building levels. This does not reflect the existing higher built forms nor the size of the site. The DPA proposes up to 3 building levels (one more than the current Plan), as well as the removal plot ratio. This increase in built form would be assessed in relation to the site specific guidelines, which include interface matters with neighbours, a continuation of the current Development Plan's 50% landscaped open space principle, as well as historic context.



Figure 5.2.1 Modelling of the DPA as released for consultation

The DPA will allow St Dominic's to develop in keeping with the existing built form however if greater than 3 building levels, would trigger non-complying.

The DPA proposes to use a building envelope policy on adjoining residential boundaries to ensure lower built form is sited near the boundaries and taller built

form is scaled away from the residential boundaries. This is intended to limit the impacts of greater building height with regards to North Adelaide's historic character as well as on neighbouring properties. It is understood that some of the existing buildings would not comply with this proposed policy. It is nonetheless considered that the policy is generally appropriate for new buildings in order to manage impacts such as bulk, scale and overshadowing. The existing taller buildings – even if proposed to be demolished and replaced - would be taken into account in the assessment of the impact of new buildings, this being standard planning assessment practice.

Following consultation, greater separation is proposed (see Figure 5.2.2) from adjoining housing with limited built form desired on the residential boundaries, as well as greater separation from the Church of Perpetual Adoration (see Figure 5.2.3).

This approach is more consistent with the historic patterns of development with walls away from boundaries. In practice, the Concept Plan would work with the proposed building envelope such that higher walls would seek to be set further away from boundaries, noting as well, that the 50% landscaped open space principle continues, such that the full envelope illustrated in 5.2.2 would not be built out.



Figure 5.2.2: Model of proposed greater setback of the building envelope off the western boundary



Figure 5.2.3: Model of Concept Plan (top as per consultation, below following consultation)

Comments were received in relation to the impact to the Chapel and the purpose of the “views and vistas”. After review of the proposed policies and Concept Plan, greater separation is required from the key land mark, the Church of Perpetual Adoration. This will support existing provisions that seek to retain the prominence of the State Heritage buildings on Molesworth Street (in particular the prominence and setting of the Church of the Perpetual Adoration, Chapter House and the Convent, as well as the building on the corner of Molesworth Street and Hill Street) which make important contributions to the character of the area.

Given the visual impact to the locality, it is considered that additional height beyond the 3 levels proposed in the DPA could not be accommodated without unduly impacting on the locality. There are also a number of amendments proposed to the Concept Plans to be more aligned with existing Concept Plans in the Development Plan.

Figure 5.2.4 shows the Concept Plan as released for consultation and 5.2.5 following consultation.

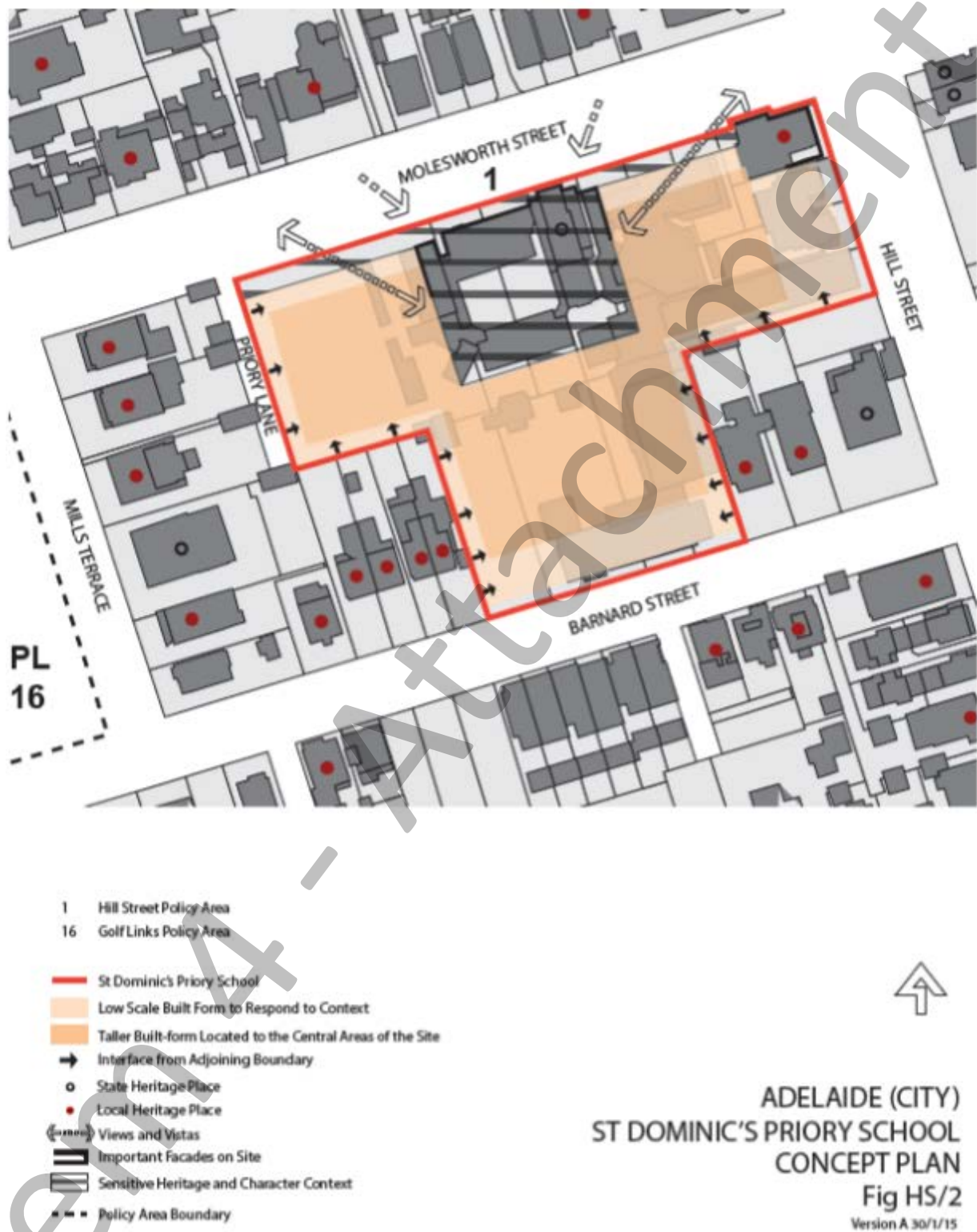
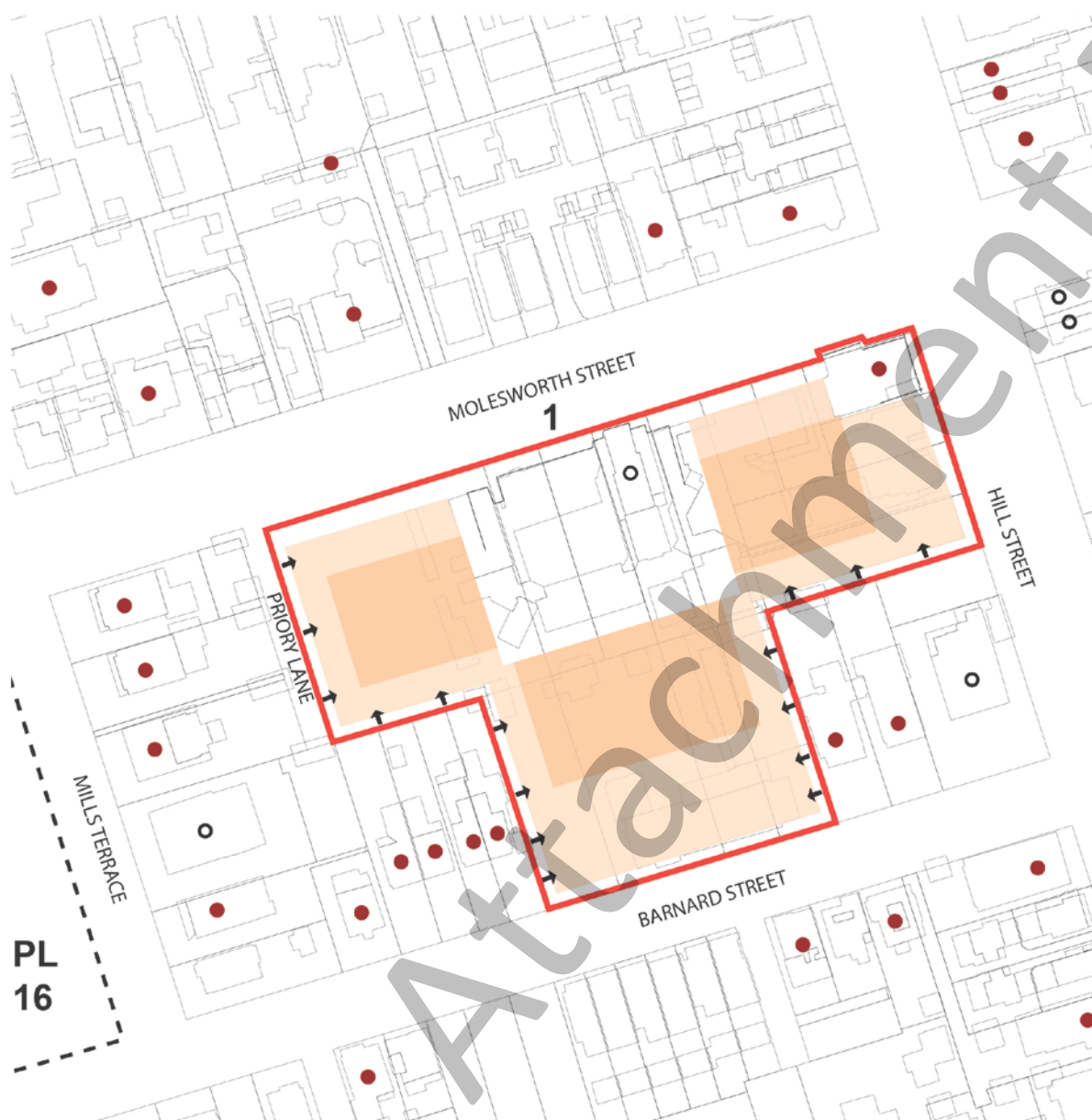


Figure 5.2.4: Concept Plan released for consultation



- 1 Hill Street Policy Area
- 16 Golf Links Policy Area
- St Dominic's Priory College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 3 building levels
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY)
ST DOMINIC'S PRIORY COLLEGE
CONCEPT PLAN
Fig HS/2
Version D 24/05/16

Figure 5.2.5: Concept Plan following consultation

Following consultation, it is considered the DPA's proposed 3 storeys sited in the central areas of the site is appropriate and that the building envelope continue. Following consultation, amend the Concept Plan to provide greater separation from the Church of Perpetual Adoration and from adjoining development.

It is recommended the Concept Plan is amended to show an increased setback from the adjoining residential boundaries.

The areas for taller built form have also been clarified on the concept plan to reduce taller built form near residential boundaries.

Item 4 - Attachment

5.3 Calvary Hospital



DPA PROPOSAL

The DPA proposes the following for the Calvary Hospital site:

- Provides an opportunity for redevelopment of parts of the site to improve the medical and health related facilities offered.
- Amend policy to allow a cafe to be located on Strangways Terrace to overlook the street and Park Lands.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 5 building levels (current maximum 2 building levels) where sited away from street frontages and adjoining residential properties
 - Removes plot ratio.
 - Discourages unbroken buildings and unarticulated facades.
 - Continue to seek low scale streetscapes and landscaped open space provisions to reinforce that higher new development should integrate with the local character.
 - Continues to seek landscaped open space of 50% to break up building mass.
 - Seeks on-site car parking to be located at basement level.

SUMMARY OF CONSULTATION

DPTI Comments

- Identified a number of inconsistencies in the revised non-complying list. There are a number of land uses exempted from non-complying classification in some Policy Areas that are not exempted in others that contain similar institutional uses.
- The proposed additions to the Desired Character Statements are considered to be inadequate as they are still heavily focused on development limiting its impact on the character and heritage of adjacent sites. Consider that there is already considerable policy in the zone and Policy Area to address these concerns.
- Would like additional detail added to the Desired Character Statements to guide the future redevelopment of the Hospital in terms of:
 - Identifying the preferred mix of land uses.
 - Identifying the opportunities in encouraging a new urban or development form.

State Agency Feedback

- N/A

Community Feedback

Landowner

- Supports the intent of the DPA to further recognise the importance of the hospital and provide a suitable planning policy framework to guide future development of the site.
- Calvary needs to meet changing demands in health care, incorporate technological advances and comply with standards and regulations.
- Increase the need to replace old bed stock with new modern private rooms, increased new beds to meet the demands of the aging population and to fund new development, upgrade infrastructure, relocate from older buildings and repurpose those buildings for ancillary hospital functions as well as meet the demand for car parking.
- Concept Plan in combination of building height restrictions is considered inappropriate and unwarranted. Concept plans should not define boundaries. Definition of site boundaries and specific policy is more appropriately done by the use of a precinct rather than a concept plan. Request to amend the Concept Plan – low scale/high scale to provide clarity on range of matters
- Building heights needs to be amended to 25 metres (6 levels). Does not support height as a non-complying trigger.
- Seeks changes to non-complying trigger for the local heritage place

- Seeks amendment to remove LOS requirement
- Seeks clarification on the “sensitive heritage and character context”
- Views and vistas are not explained and there are no Principles of Development Control (PDC’s) to support this.
- Important facades are outlined which are greater than retention depth

Other Stakeholders

- Objections to the potential increase in the physical size of Calvary Hospital, parts of which may be allowed to reach five stories. The potential 5 storey buildings will tower existing buildings that will change the skyline and dwarf and dominate historical buildings and their surroundings.
- Increased building heights will cause overlooking and result in loss of privacy and sunlight in the afternoon and affect energy initiatives e.g. solar systems.
- Happy to see sensible, controlled development which improves facilities for the benefit of all South Australians, provided they are in sympathy with the historical values of the residential village and do not alter the unique character of the suburb.
- Want to ensure State Government understands and respects the Council's position statement with respect to City Heritage – "Council is dedicated to the conservation, protection and celebration of Adelaide's renowned heritage and character for future generations to interpret and enjoy."
- There will be a greater shortage of parking. Parking is already problematic, with high demands on short and long term parking needs for golfers, hospital staff, visitors, residents and their visitors and event parking. Parking should be provided for all residents and staff on site.
- Parking requirements for staff, tradespersons/contractors and visitors to the hospital will reduce parking availability for surrounding residents. New development must ensure on-site service delivery and removal. Parking is already problematic and should be provided for all residents and staff on site.
- Further development requires significant planning around traffic, parking and access.
- The DPA has a high degree of clarity and consistency however questions the accuracy of plan details wanted in Figure HS/1's north eastern site boundary for Calvary Hospital. How can residents enter or leave their carparks?

COUNCIL REVIEW AND OPTIONS

Calvary has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Calvary and to enable its intensification within its current site rather than expansion to adjacent sites.

Land Use

Following consultation, the DPA provides policies for redevelopment to improve the medical and health related facilities offered and to enable land uses such as shops and café on the Strangways Terrace frontage. Calvary like many hospitals already has these land-uses however they are internal to the site and ancillary to the use. The DPA would allow these land uses to be considered on Strangways Terrace. Whilst these are already on site, it is considered the impacts would be manageable and offer some way of improving Strangways Terrace frontage, and would not detract from the prime main street role of O'Connell Street or residential amenity.



5.3.1 Modelling of the DPA as released for consultation illustrates the central location of the possible 5 levels maintains the visual prominence of the heritage fabric to Strangways Terrace, as well as the more domestic scale to Barnard Street.

Building Design

The allowable building height in the current Development Plan does not reflect the height of existing buildings. The site contains buildings that are between one and four storeys. The DPA proposes built form up to 5 storeys. The owner's submission seeks made to increase the proposed building height to 6 storeys whilst other submissions seek to lower building height as there are concerns around the impact of 5 storey building on the streetscape.

It is not considered that a taller building up to 6 storeys could be accommodated without unduly impacting the heritage values of the area. Whilst it is acknowledge that the building to the west of Hill Street is up to 6 storeys, this is not characteristic of the locality and is not compatible with the heritage values.

It is considered that on some locations on the site the 5 storey building can be accommodated with limited visual impact to surrounding locality. Hill Street is the area which is most affected by additional development. Stakeholders comments received outline a concern for the impact of taller built form on the area.

Given the low scale street of Hill Street, in order to minimise the visual impact on the street it is recommended that the DPA is amended to provide a greater set back from Hill Street and to lower the street wall height to 4 storeys. It is considered taller built form can be accommodated where it is set further back from the street to the central areas of the site.

Whilst this is a substantive change from the proposed DPA, it is considered that DPA provides adequate additional floor areas to support the health sector whilst maintaining heritage values and residential amenity.

Comments were received in respect to the interface on the eastern boundary. Additional modelling has been undertaken to review the impacts of new buildings close to this boundary and it is considered a greater set in of the 3 - 5 level component on the Concept Plan is necessary to reduce the impact of bulk to surrounding neighbours.



Figure 5.3.4: Model of proposed DPA at eastern boundary.



Figure 5.3.5: Proposed greater set in from eastern boundary of 3 – 5 level component.



- 1 Hill Street Policy Area
- 5 Cardew Policy Area
- 16 Golf Links Policy Area

- Calvary Hospital Site Boundary
- Low Scale Built Form to Respond to Context
- Taller Built-form
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- Views and Vistas
- Important Facades on Site
- Sensitive Heritage and Character Context
- Policy Area Boundary

ADELAIDE (CITY)
CALVARY HOSPITAL
CONCEPT PLAN
Fig HS/1
Version A 30/1/15

Figure 5.3.6 Concept Plan Released for Consultation

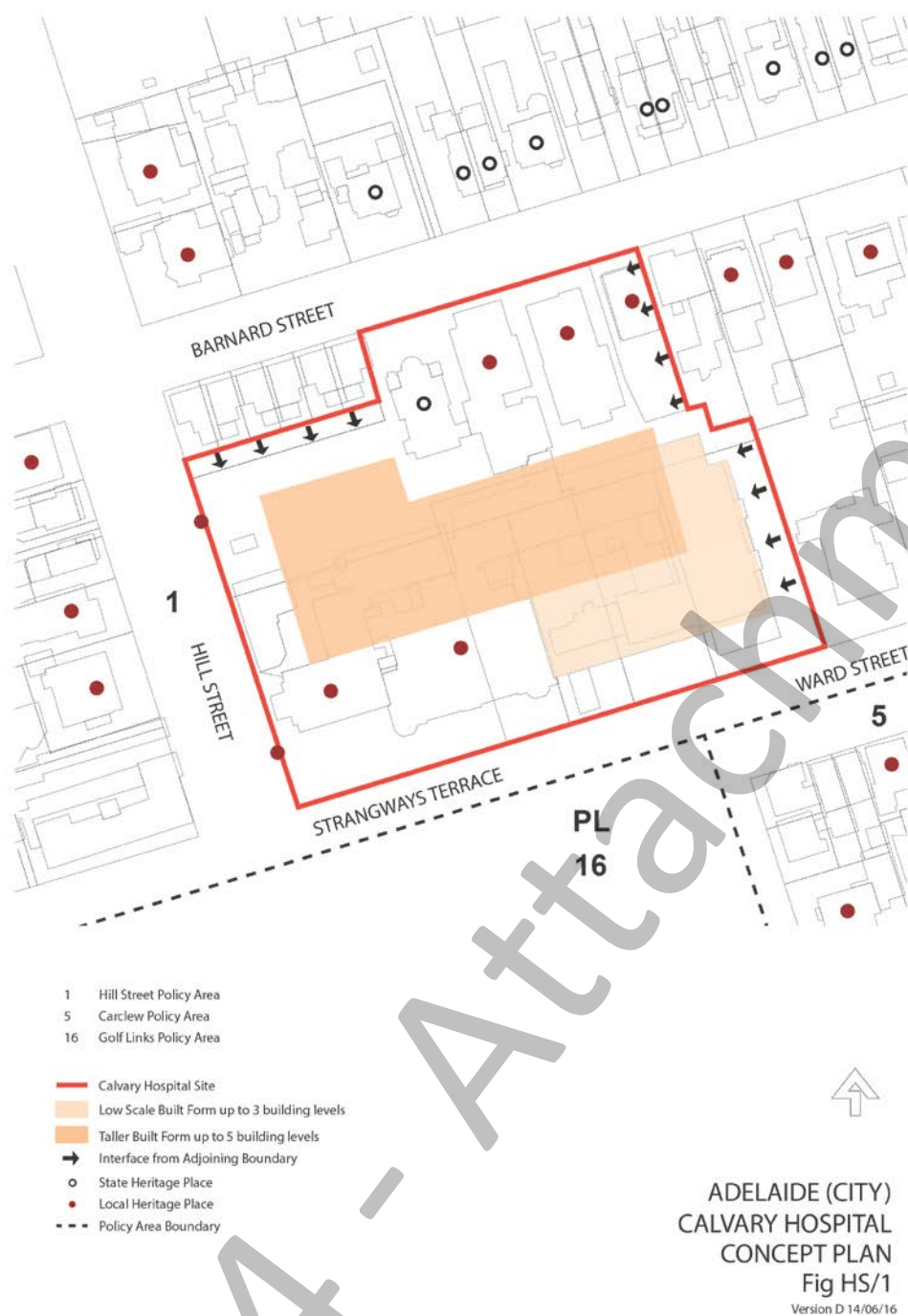


Figure 5.3.7 Concept Plan Following Consultation

Following consultation amend the DPA on Hill Street to lower the building height to 4 storeys. Provide a greater set back from Hill Street. Where set back from the streetscape, continue with the DPA proposal enabling built form up to 5 building levels in the centre of the Calvary Hospital site. Continue along with the 50% landscaped open space principle, and amend the DPA Concept Plan to seek a greater set back of taller built form from the eastern boundary.

Following consultation, amend the land use provisions as per the current DPA i.e. non complying for shops on Strangways Terrace.

5.4 Lincoln College



DPA PROPOSAL

The DPA proposes the following for the Lincoln College site:

- Allows continuation of student accommodation and associated uses.
- Allow Amend policy to allow part of the site to be used as a standalone office provided the overall site is maintained for primarily student college use.
- Retain the visual prominence of the State Heritage Places from Brougham Place and Park Lands.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 6 building levels (current maximum 2 building levels)
 - Discourages unbroken buildings and unarticulated facades and encourages use of landscaped open space to break up building mass.
 - Enhance presentation to Ward Street.
 - Removes plot ratio.
 - Continue to seek low scale streetscapes and with landscaped open space provisions to reinforce that new higher development should integrate with the local character.
 - Continues to seek landscaped open space of 50% to break up building mass.

- Additional on-site car parking to be located at basement level'

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) which hinder the ability to deliver innovative and responsive design solutions for institutional sites.
- Council is requested to relocate the contents of PDC 8 (b) (iii) to the Desired Character Statements for the Policy Area.

State Agency Feedback

Rachel Sanderson Member for Adelaide MP (on behalf of constituents):

- On-street car parking is a major concern
- Tapering makes sense near low scale residential housing but not next to a large scale developments such as that proposed on the catalyst site next to Lincoln College.

Community Feedback

Landowner

- Amendments necessary to enable planning for the future with more certainty and confidence.
- Restraints will remain if the DPA is authorised in its current form. The DPA reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and is at odds with the request of the Minister.
- Concept Plans will constrain regeneration and redevelopment and their provisions are very prescriptive and unreasonable. The policy amendments and Concept Plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.

Stakeholder Feedback

- 6 storeys are too high for the site. 6 storey buildings adjacent single story cottages and businesses will create a series of monoliths with overshadowing and degradation to the current amenity with a high chance there will also be a reduction in property values.
- Heights should be a maximum of 4 storeys including ancillary equipment.
- The Lincoln College height seems excessive when viewed from Brougham Place. The built form would overshadow the heritage buildings along Brougham Place.
- The future building on the corner of Ward and Margaret St will tower over the coach house. The setback required may be too small. Heights on the Ward St

and Margaret St junction will have significant overlooking, shadowing, noise and traffic issues on heritage listed St Margaret's.

- Allowing development on boundaries on St Margaret's and other similar residences diminishes the nature of these culturally and heritage significant residences.
- Setbacks should be established adjacent to existing single and double story dwellings and design and finishes should be sympathetic to the heritage of the area and the buildings they abut.
- Concerned about the removal of plot ratio.
- Traffic movement in Margaret St between Brougham Place and Ward St.

COUNCIL REVIEW AND OPTIONS

Lincoln College has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Lincoln including its intensification within its current site as well as expansion to nearby sites.

LAND USE

Comments have been received around flexibility land uses for the site in term providing more flexibility and less flexibility and this includes Lincoln College. The DPA was drafted with the intent to support the existing residential college sector as this was consistent with the land use strategy for the North Adelaide Historic (Conservation) Zone. The DPA intends to provide a balance of supporting the residential accommodation needs of the education sector and maintaining residential amenity.

The Zone already has a series of land uses that are considered inappropriate and therefore non-complying. The DPA maintains this land use mix. This is because given the scale and intensity of other land uses, such as education establishment, are considered likely to be a tipping point which may unduly impact on the predominately residential land use mix. Whilst it is acknowledged that some activities may be provided as ancillary, providing at a scale where they are a change of use is not consistent with the land use strategy of North Adelaide.

Accordingly, whilst the residential colleges continued to be supported through the DPA, additional land uses – such as educational establishment - where they would constitute a change of land uses are not supported on these sites.

BUILT FORM

Comments have been received in relation to the compatibility of Lincoln College with the North Adelaide Historic (Conservation) Zone NAH(C)Z and in particular building height.

Lincoln College has existing buildings up to 4 storeys to Ward Street that do not make a positive contribution to the area's historic character. The site is on the boundary to the Main Street (O'Connell) Zone, where on the site to the west,

development is envisaged up to 6 storeys, and potentially higher with the catalyst site provisions enabling buildings greater than 6 storeys. An early 2016 development approval for the site west of Lincoln involved buildings well in excess of 6 storeys height.



5.4.1 Modelling of the DPA as released for consultation

For Lincoln, the DPA released for consultation proposes up to 6 storeys at the rear of the site near Ward Street, with the frontage itself having lower scale built form, and transitioning down towards adjacent housing east of Margaret Street.

Part of the Concept Plan also sought retention of the open setting in between the heritage places fronting Brougham Place (part of the historic dress circle along Brougham Place). This is illustrated on the Concept Plan released for consultation (see Figure 5.4.4).



VIEWS OF WARD ST



VIEWS - CORNER OF WARD ST AND MARGARET ST

VIEWS OF WARD ST



VIEWS OF MARGARET ST

Figure 5.4.2 Ward Street Existing Buildings (4 storeys)

The current buildings fronting Ward Street (Figure 5.4.2) offer little to the historic, lower scale streetscape. The ground plane has dominating fences, poor sightlines and potential entrapment points. The long and unbroken line of buildings along the street frontage exacerbates this impact. If to be redeveloped in order to better meet student accommodation needs, it is desirable that greater scale incorporates building materials and designs are compatible and responsive to the heritage context, and that buildings are broken up in order to provide visual relief and visual sightlines between new buildings.

Following consultation, it is suggested buildings typically 3 storeys are appropriate to the Ward Street frontage, with taller buildings up to 6 levels built form stepped back from the street frontages, and comprising a number of buildings to break up any solid horizontal forms (see Figure 5.4.3)

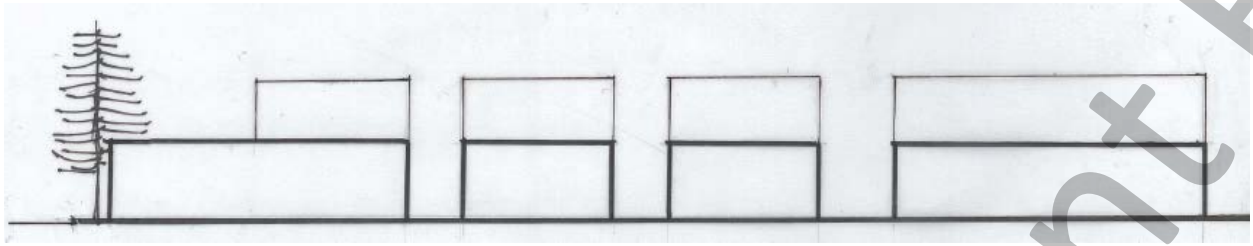


Figure 5.4.3 Example of a possible cross section of Ward Street frontage illustrating 3 storey buildings to the frontage, 6 behind, and scaling down to the Margaret Street.

The Concept Plan released for consultation is also proposed to be varied to enable a 6 level building somewhat closer to the western boundary, in light of the 6 level height allowable the adjacent Main Street (O'Connell) Zone. In parallel, it is also proposed to shift the 6 level envelope to be sited away from the Western boundary and to align with a midpoint between the two eastern most heritage places, enabling a greater scaling down to the 1 – 2 storey historic buildings east of Margaret Street.

The DPA's proposal to increase allowable height to 6 levels will slightly increase the extent of shadow in mid-winter from mid-afternoon on Margaret Street. Nonetheless, it is not to an extent that is considered unreasonable given mid-winter is the time of year with least daylight hours.

After consultation, amend the Concept Plan to shift the 6 level envelope away from the western boundary and away from Margaret Street, and amend the principles to:

- > Seek 3 storey built form to Ward Street and Margaret Street
- > Reinforce the need to break up the horizontal building mass
- > Reinforce the compatibility with the historic character



- 6 Margaret Street Policy Area
- 7 Lefevre Street Policy Area
- MS Main Street (O'Connell) Zone
- 26 Brougham & Palmer Gardens Policy Area

- Lincoln College
- Low Scale Built Form to Respond to Context
- Taller Built-form
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- Views and Vistas
- Important Facades on Site
- Sensitive Heritage and Character Context
- Policy Area Boundary

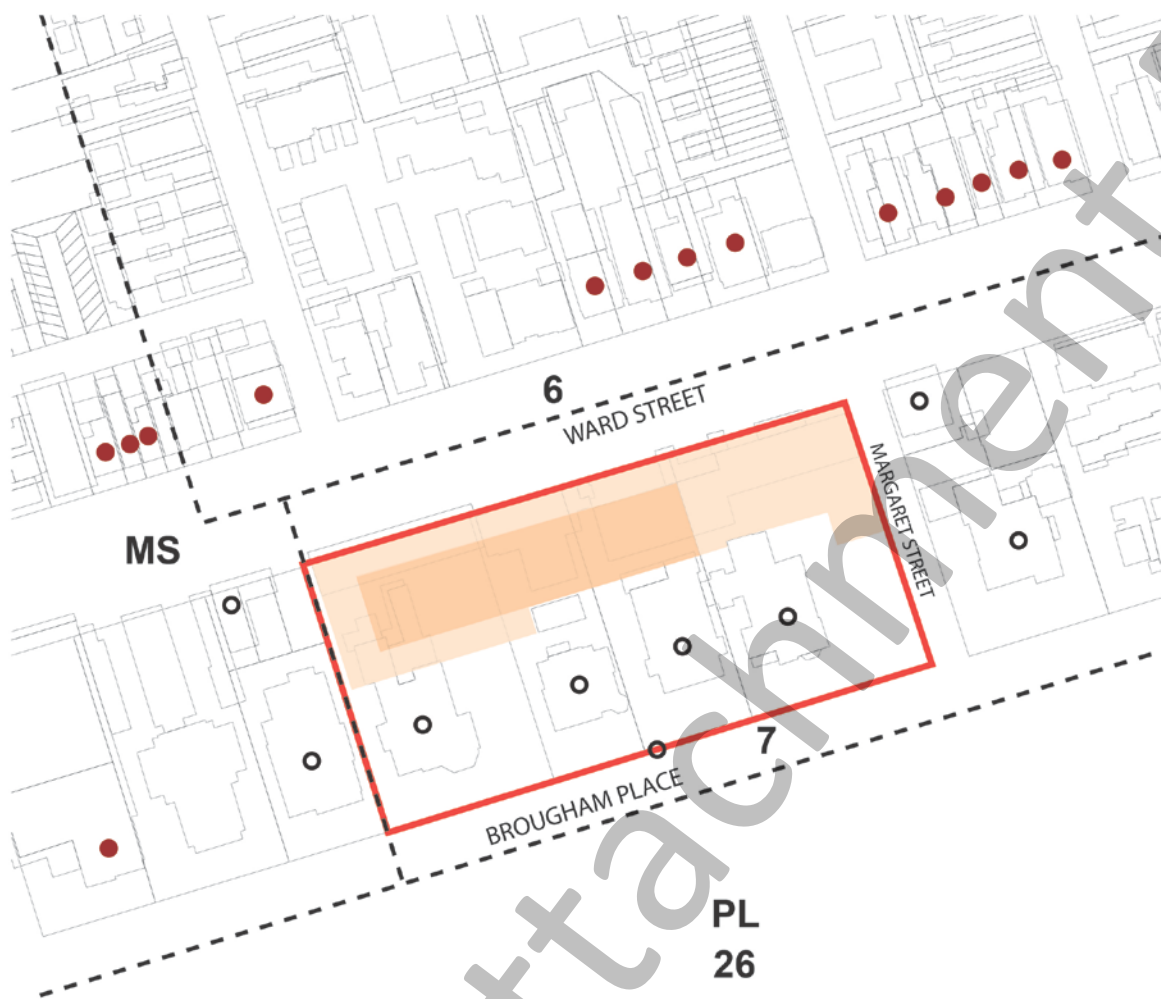


ADELAIDE (CITY)
LINCOLN COLLEGE
CONCEPT PLAN

Fig LF/1

Version A 30/1/15

Figure 5.4.4 Concept Plan released for consultation



- 6 Margaret Street Policy Area
- 7 Lefevre Street Policy Area
- MS Main Street (O'Connell) Zone
- 26 Brougham & Palmer Gardens Policy Area

- Lincoln College Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary



ADELAIDE (CITY)
LINCOLN COLLEGE
CONCEPT PLAN
Fig LF/1

Version D 24/05/16

Figure 5.4.5 Concept Plan following consultation

5.5 St Ann's College



DPA PROPOSAL

The DPA proposes the following for the St Ann's College site:

- Allows continuation of student accommodation and associated uses
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 4 building levels (current maximum 2 building levels) where sited away from street frontages and adjoining residential properties
 - Continues to seek landscaped open space of 50% to break up building mass.
 - Height and scale of new building should not detract from the landmark significance of Brougham Place Uniting Church
 - Removes plot ratio
 - Additional on-site car parking to be located at basement level

SUMMARY OF CONSULTATION

DPTI Comments

- Questions whether the Desired Character Statements is in conflict with the intent of Concept Plan Fig W/1 for St Ann's which shows an area of existing dense

vegetation (corner of Brougham Pl and Melbourne St) as being the area identified for taller built form?

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

- Inconsistency between Melbourne St currently allowing 14m height for mixed used; however the new zone St Ann's which borders Melbourne Street would only be allowed 12m.

Community Feedback

Landowner

- Amendments necessary to enable planning for the future with more certainty and confidence. Restraints will remain if the DPA is authorised in its current form.
- Constrains land use. The DPA reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and is at odds with the request of the Minister.
- Concept Plans will constrain regeneration and redevelopment. The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and concept plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.

Other Stakeholders

- Historical and heritage acceptance of North Adelaide must be at the fore front of future development. Tall towers will remove the 'soul' of North Adelaide and cause unacceptable shadows for existing heritage building and wind funnelling corridors.
- Impact of building height and mass. Must step down away from existing private dwellings and not overshadow. Fire exits, air conditioning and equipment needs to be included in height. Loss of sunlight. Overshadowing.
- Ensure retention of historic garden embankment crucial to the gateway of Melbourne St. The potential loss of trees on the corner of Brougham Place and Melbourne St. Loss of any concept of the value of 'grounds' green areas.
- Preservation of views are important. Removes 'protected' City views from properties along Brougham Pl and Stanley St. Value the views to Brougham Place Uniting Church from the surrounding area.
- Weakens plot ratio requirements. Removal of plot ratio reduces the 'green' environment immediately.

- Ensure new development provides for adequate privacy to adjacent properties, for example the use of fixed screens or opaque glass in conjunction with all building openings, including fire escapes.
- Any increase in student numbers will increase the noise level emanating from them, from traffic, waste vehicles and delivery systems of essential goods.
- Should sound proof the entertainment area. A roof-top garden for St Ann's will allow noise to travel throughout the neighbourhood. Entertainment should be at ground level. Air conditioning off roof areas and away from property boundaries or careful placement of, and the application of acoustic controls to, areas or equipment likely to produce noise such as air conditioning and roof-top gardens and balconies.

COUNCIL REVIEW AND OPTIONS

St Ann's has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for S Ann's including its intensification within its current site as well as expansion to nearby sites.

CONCEPT PLAN

The Concept Plan refers to the whole of the St Ann's site. This is over two zones, with land along the western end of Melbourne Street (including the modern St Anns building fronting Melbourne Street) is located within the Mixed Use (Melbourne) West Zone. The existing zoning in Mixed Use (Melbourne) West which envisaged both residential and commercial land uses and built form up to 4 building levels. The scope of this DPA does not include amending these policies, which were updated in recent years through a separate DPA (Residential and Mainstreet DPA (Part 1)).

Consequently, and for clarity purposes, it is proposed to vary the Concept Plan so that the St Anns land located within the Mixed Use (Melbourne West) Zone is not included within the Concept Plan. What this means is that the Mixed Use (Melbourne West) Zone policies that have applied to that one site will continue to apply after the DPA.

Refer to the consultation and post consultation Concept Plan to view the proposed changes.

Following consultation, as part of refining Concept Plans in order to increase clarity, do not apply the Concept Plan to that part of St Ann's located within the Mixed Use (Melbourne West) Zone.

BUILT FORM

It is important for development at St Ann's to be compatible with the historic pattern of development, residential scale and future directions of both the Mixed Use (Melbourne) West Zone and the North Adelaide Historic (Conservation) Zone.

Setting aside the Mixed Use (Melbourne) West Zone part of St Ann's, the current Development Plan allows buildings up to 2 levels on the site however the noting the site contains existing 4 level buildings. The DPA released for consultation increases the allowable height to up to 4 levels. Overall, the DPA increases the amount of built form and scale possible on St Ann's (see Figure 5.5.1).



Figure 5.5.1: Modelling of 4 level Height in Consultation DPA

From consultation, the land owners seek more flexibility in height (through performance standards) and other submissions seek lesser development capacity for reasons including views to the City, appearance, amenity and heritage values, including maintaining the views of Brougham Place Uniting Church and to the vegetation on the Brougham/Melbourne corner.

The DPA proposes a 3.5 m setback for buildings on St Ann's from Melbourne Street, with this being the same as the Mixed Use (Melbourne West) Zone (which the eastern portion of St Ann's site is located within). The Brougham Place setback aligns with existing buildings along Brougham Place which aren't straight as the road is on a curve. The setback also allows views to Brougham Place Uniting Church to be retained. It not proposed to amend these set-backs in order to provide suitable incentives to develop close to Melbourne Street and reduce some of the development pressure in areas of the site that would affect the adjoining neighbours.

Regarding the garden on the corner of Melbourne/Brougham, this is not designated as a Heritage Place. This means under both the current Development Plan and the DPA, new buildings are potentially able to gain consent on that land (subject to assessment regarding the principle seeking that 50% of the site comprise landscaped open space).

Noting it is not heritage listed, the 50% landscaped open space policy would see that landscaping is provided over the site and break up building mass, this accompanied by a 3.5 metres building setback from Melbourne Street and Brougham Place.



Figure 5.5.2: Imagery of 4 level height with small setback from Melbourne/Brougham Corner, also illustrating how built form aligns with existing buildings fronting Brougham Place (North of Melbourne Street).



- 10 Stanley West Policy Area
- 12 Finnis Policy Area
- MU Mixed Use (Melbourne West) Zone
- 26 Brougham & Palmer Gardens Policy Area

- St Ann's College
- Low Scale Built Form to Respond to Context
- Taller Built-form
- Interface from Adjoining Boundary
- * Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- ↔ Views and Vistas
- ▬ Important Facades on Site
- ▬ Sensitive Heritage and Character Context
- - - Policy Area Boundary

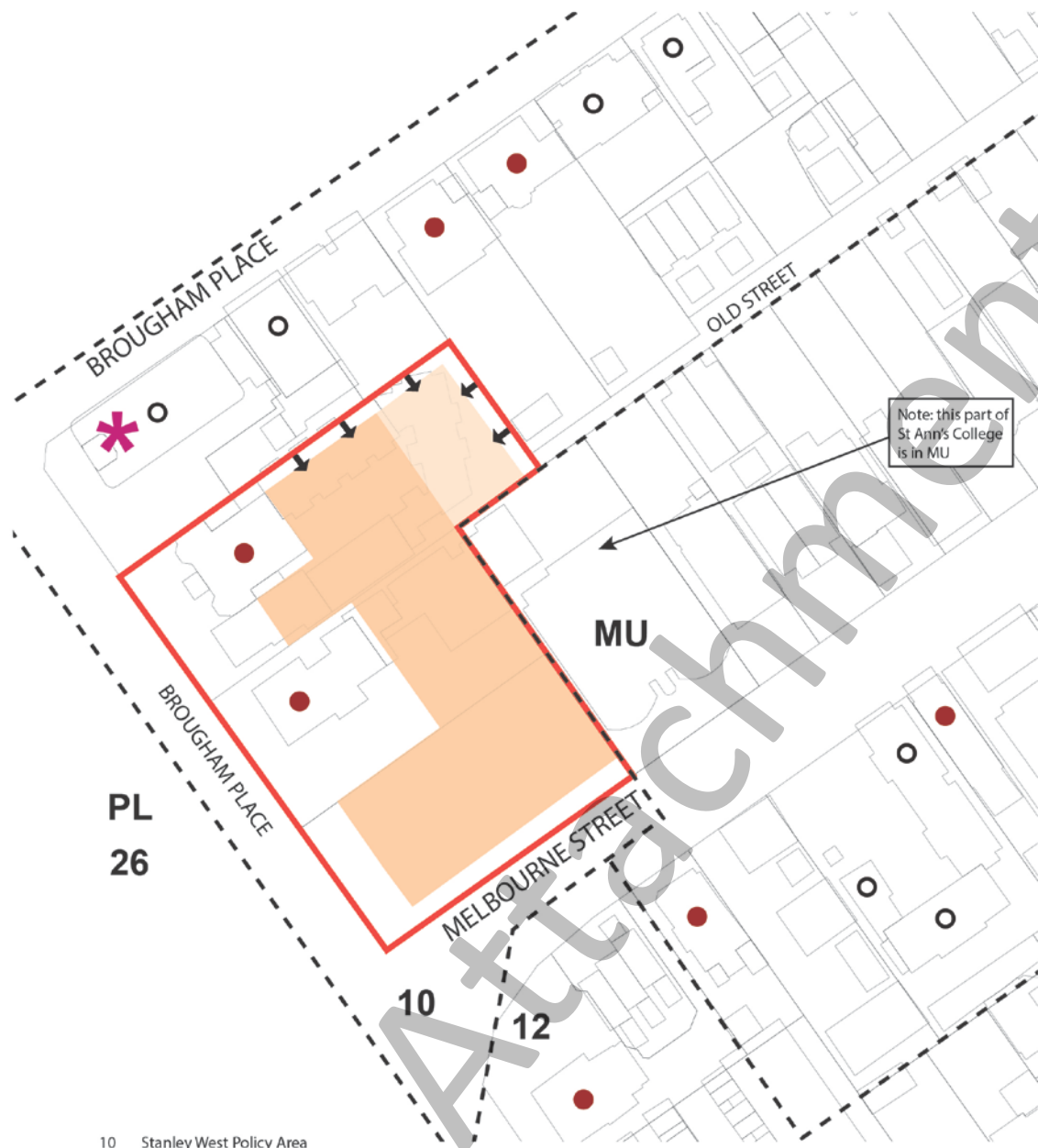


ADELAIDE (CITY)
ST ANN'S COLLEGE
CONCEPT PLAN

Fig SW/1

Version A 30/1/15

Figure 5.5.1: Concept Plan within the DPA released for consultation



- 10 Stanley West Policy Area
- 12 Finnis Policy Area
- MU Mixed Use (Melbourne West) Zone
- 26 Brougham & Palmer Gardens Policy Area

- St Ann's College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- Interface from Adjoining Boundary
- * Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY)
ST ANN'S COLLEGE
CONCEPT PLAN
Fig SW/1
Version D 16/03/16

Figure 5.5.2: Concept Plan following consultation

The DPA reflects the building height which is enabled on the eastern portion of the site (which is located in the Mixed Use (Melbourne) West Zone). In to remain compatible and have continuity in the street height, it is not considered appropriate to amend the building height to greater than 4 storeys.

In respect to the appropriateness of 4 storeys, it is not intended that this will be applied across the site. For St Ann's whilst 4 storeys may be achieved on some portions of the site the retention of the views is important. As such where 4 storeys is appropriate is dependent on slope of the land, the roof siting and pitch, the treatment of cut and fill and the bulk and massing of the buildings, modulation and articulation of the building and the maintenance of views to the City and Brougham Place Uniting Church. The DPA provides the height guidelines, during an assessment of an application views to the City will continue to be considered. It is noted, within the Mixed Use (Melbourne) West Zone views are also considered whilst the Zone also has a building height of up to 4 storeys. These factors will continue to be assessed to balance the built form outcomes over the site. It is recommended that these policies be refined to ensure that a suitable design outcome can be achieved to balance the policy objectives.

Submissions raised the need to retain the character of the escarpment across the site. It is considered that given the historic importance of this escarpment, this should be reinforced. Subtle amendments are recommended to ensure new development can consider the retention of the character of the escarpment across the site

Following consultation, continue with the DPA allowing buildings up to 4 levels subject to impact of on views to City and impacts to adjoining neighbours. Continue to require landscaped open space setting and setbacks from Melbourne Street and Brougham Place.

TRANSPORT POLICY

Regarding transport, the DPA proposed a unique policy for St Ann's to preference for additional access from Brougham Place or Melbourne Street rather than Old Street. This would impact traffic movements of major roads such as Melbourne Street and Brougham Place which have high traffic volumes and mass-transit (bus) priority. Given the existing built-form arrangement on the site and an overall transport preference to limit movements from Melbourne Street and Brougham Place, consideration needs to be given to the need to use the existing access from Old Street.

It is considered that additional movements from Old Street could be managed to limit the impacts to residential amenity. This could be achieved through siting, turning circles and limiting movements and deliveries at certain times of the day. Accordingly, it is recommended that the policy is amended to be in line with the Mixed Use (Melbourne) West Zone which would allow movements from Old Street however would also need to be designed and managed to soften impacts to residential amenity.

Following consultation, amend policies to allow vehicle movements from Old Street provide they are managed to protect residential amenity.

Subtle amendments are recommended to ensure new development can consider the retention of the character of the escarpment across the site

Item 4 - Attachment

5.6 Kathleen Lumley College



DPA PROPOSAL

The DPA proposes the following changes for the Kathleen Lumley College site:

- Allows continuation of student accommodation and associated uses.
- Retain the visual prominence of the State Heritage Places.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 3 building levels (current maximum 2 building levels) where sited away from street frontages and adjoining residential properties
 - Continue to seek low scale streetscapes and landscaped open space provisions to reinforce that new development should integrate with the local character.
 - Removes plot ratio.
 - Additional on-site car parking to be located at basement level.

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Nil

Community Feedback

Landowner

Nil

Other Stakeholders

- The 5 single-storey cottages on Finniss St contribute to the streetscape because of their low scale. While not heritage listed, the total demolition of the cottages would compromise the character of Finniss St.
- Would prefer the policy outcome (contemplated on p100 of the Explanatory Statement & Analysis document) that future development along Finniss St:
 - Continue the existing policy approach along Finniss St
 - Buildings that reflect the single storey streetscape.
- Buildings set away from Finniss Street
- The DPA policy would enable Kathleen Lumley College to build a multi-storey building in a street which has an acknowledged high proportion of valued heritage asset, many listed as State or Local Places.
- Worried about the continual reference to the Dickson Platten Master Plan when it wasn't produced during the consultation period and are not certain of what is contemplated.
- Concerned the ACC Handout contradicts itself in requiring buildings to be 'retained in their settings' but diagrammatically indicating new 4 storey construction to Mackinnon Parade (surely the former is intended?) otherwise proposed max. 4 storey heights accepted, subject to 'quality design'.
- The DPA proposes buildings will be constructed of the red brick that currently exists on site. The building design, colour and material would no way compliment or enhance the current streetscape facing Finniss St. Suggest keep red brick face fronting MacKinnon Parade and use material and colour scheme for frontage on Finniss St that compliments and enhances surrounding residential properties.
- New building should be setback from the street and building height the same as other residential homes (2 storeys).
- Maximise green open space to ensure there is no overlooking, privacy and natural lighting issues.

- Concern about equity across the zone for example 6 years ago an application to build a 2 storey rear extension was prevented on the grounds that it would be possible to see the gutters of the upper storey and hence impact on the Local listed heritage status. Given the refusal to build a 2-storey extension because the gutters might be seen, how does the DPA justify a multi-storey building opposite and demolish 5 single-storey dwellings.
- Concerned about lack of parking. An exit on Finnis St from a larger facility will significantly add to the traffic issues.

COUNCIL REVIEW AND OPTIONS

Kathleen Lumley College has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Kathleen Lumley including its intensification within its current site as well as expansion to nearby sites.



Figure 5.6.1: Modelling showing DPA released for consultation

Built Form

Existing building height varies across the site up to 4 storeys, with low scale cottages to Finnis Street. The buildings fronting MacKinnon Parade are a State Heritage Place, and the DPA is intended that the existing student accommodation buildings be retained in their landscaped setting.

The DPA released for consultation envisaged buildings up to three storeys in the style of the Dickson Platten Masterplan, whilst increasing the non-complying trigger to 4 storeys to enable alterations to the Dickson Platten buildings.

The DPA proposed scope to allow the State Heritage Place fronting MacKinnon Parade to be



extended to Finnis Street. This is because Kathleen Lumley College represents one of the first purpose-built residential colleges designed by South Australian leading architects Dickson and Platten, who are credited with developing a local adaptation of modernist architecture. If extended, this would mean a change in the building style and form than what is typical of Finnis Street.

Following consultation, it makes sense that alterations to the existing State heritage place that may be in the form of 4 levels as per the Dickson Platten Masterplan should not trigger non-complying. Thus, this aspect of the DPA is proposed to be continued.

Consultation has highlighted the value placed on the low scale streetscape to Finnis Streets 19th century historic pattern of development. Post consultation, consideration has been given to reinforcing the Finnis Street character rather than the State Heritage Place on MacKinnon Parade as proposed by the DPA. The existing cottages fronting the street are not heritage listed and the scope of the DPA did not include listing buildings as additional heritage places. A separate agreement would be required with the Minister for Planning and additional consultation would be required. In any case, it is recommended if the buildings fronting Finnis Street are to be redeveloped, the character of the should reinforce the historic, low scale of 1 storey buildings fronting the street with 3 storeys behind is considered appropriate without being detrimental to the local character. Amendments to the Concept Plan have been provided to reinforce this policy outcome.



Figure 5.6.2 illustrates the visual impact of a 3 storey building envelope setback behind smaller built form to the Finnis Street streetscape.

Amend the DPA to envisaging low scale built form to Finnis Street (potentially to one to two storeys) with three storey set away from existing adjoining residential properties, and also enabling alterations to the existing four level State Heritage listed place. Amend the concept plan to reflect this outcome.

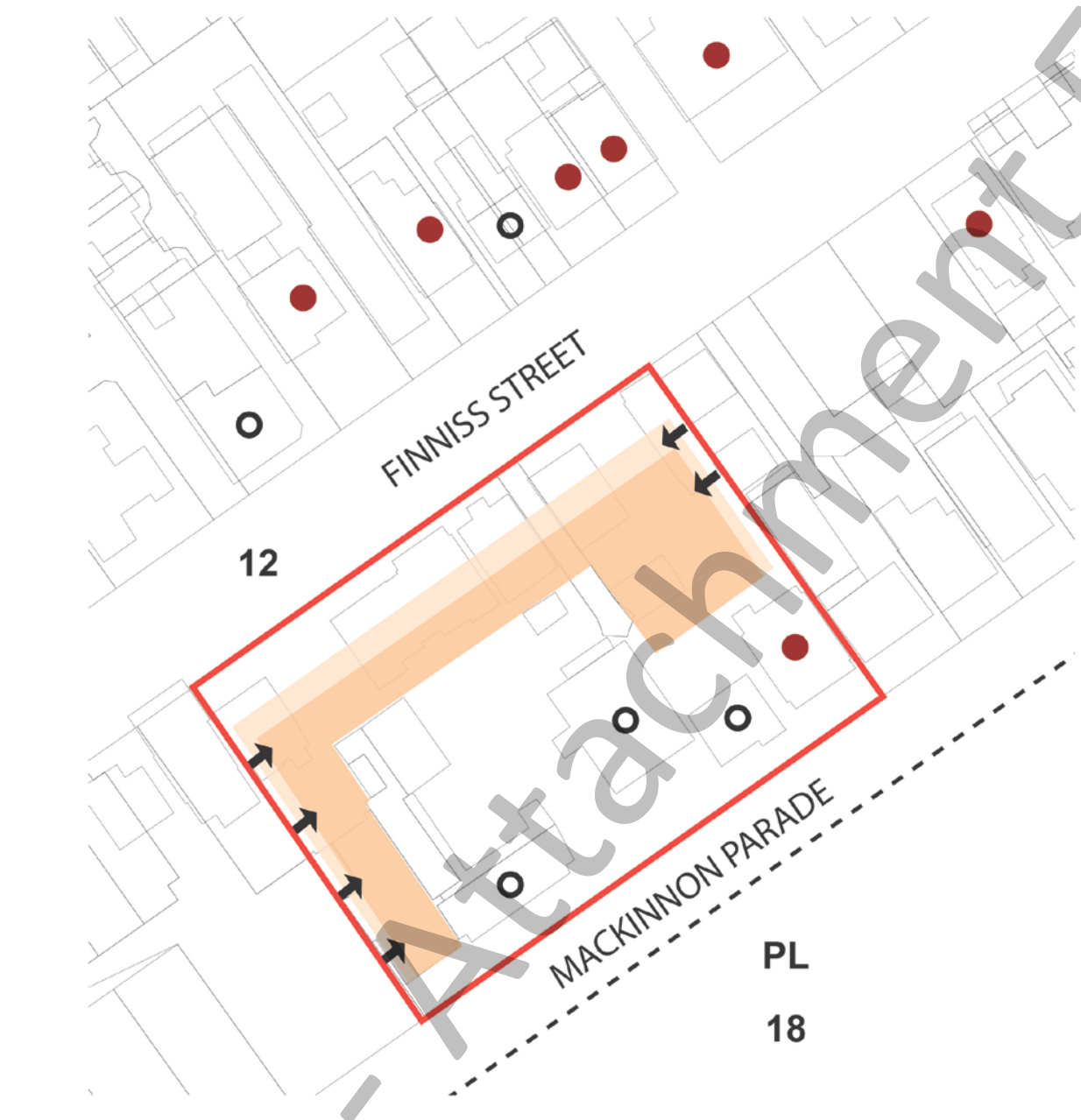
Discontinue the DPA proposal envisaging the Dickson Platten Masterplan built form outcome for the site, including to the Finnis Street frontage.



- 12 Finiss Policy Area
 18 River Torrens East Policy Area
- Kathleen Lumley College
 Low Scale Built Form to Respond to Context
 Taller Built-form Located to the Central Areas of the Site
 Interface from Adjoining Boundary
 State Heritage Place
 Local Heritage Place
 Views and Vistas
 Important Facades on Site
 Sensitive Heritage and Character Context
 Policy Area Boundary

ADELAIDE (CITY)
 KATHLEEN LUMLEY COLLEGE
 CONCEPT PLAN
 Fig F/1
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Figure 5.6.3 Concept Plan as Released for Consultation



- 12 Finniss Policy Area
- 18 River Torrens East Policy Area

- Kathleen Lumley College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 3 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary

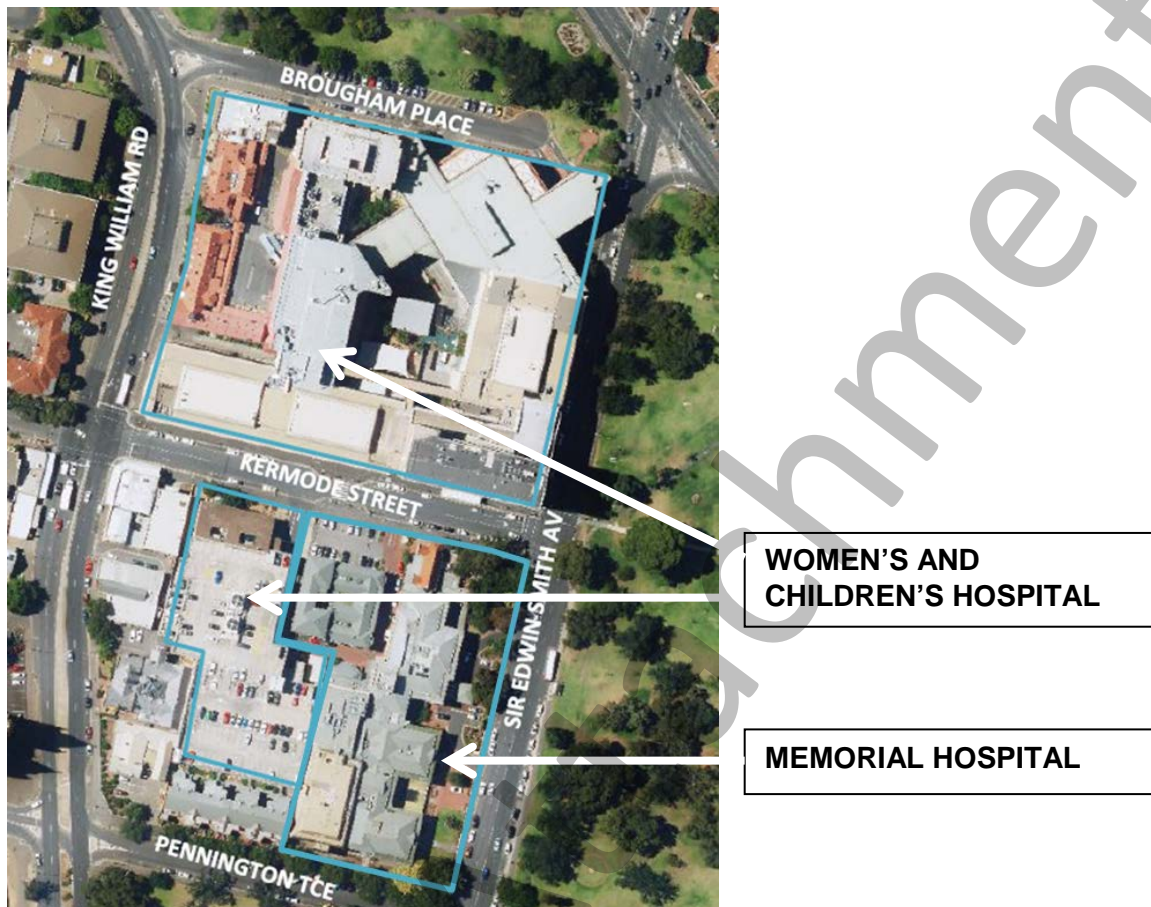


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KATHLEEN LUMLEY COLLEGE
CONCEPT PLAN
Fig F/1

Version D 14/06/16

Figure 5.6.4 Concept Plan Following Consultation

5.7 Memorial Hospital and Women's and Children's Hospital (South of Kermode Street)



DPA PROPOSAL

The DPA proposes the following for the area south of Kermode Street:

- Supports continuation of hospital and medical related land uses
- Encourages land uses (e.g. café/retail) that activate the streetscape along Kermode St
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 6 building levels (current maximum 2 building levels) provided views from the Park Lands to the St Peter's Cathedral are maintained
 - New buildings to have high level of fenestration and detailing
 - Removes plot ratio
 - New car parking away from street frontages
 - Additional on-site car parking to be located at basement level

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Nil

Community Feedback

Landowner

- Support the key DPA proposals.
- Supportive and welcome a holistic masterplan, design led approach to any redevelopment of the site.
- Support the relaxation of building height controls.
- Height and massing must be assessed against the functional requirements of hospitals as well as the context of the site and location. The change allows the utilisation of setbacks, building heights and landscaped open space requirements.
- Future redevelopment will include some adaptive re-use of heritage listed buildings. There must be flexibility to allow change to ensure facilities remain fit for purpose
- Car parking continues to be a major issue for hospital management.
- Support Council's Smart Move Strategy outlining the intent to extend the tram line to North Adelaide.
- Supports redesigning Kermode St as a high quality street or plaza, however existing on-street parking, loading bays and driveways must be considered.
- It is essential for Memorial Hospitals operations to maintain direct street level access from Kermode St and Sir Edwin Smith Ave.

Other Stakeholders

- The 6 storey height appears too massive until the future development of the Women's & Children's Hospital is considered.
- The Hospital street frontage should be maintained as it stands. It is an important part of Adelaide's heritage history.
- New buildings on the corner of Kermode St and Sir Edwin Smith Ave should be setback from the street plantings of gardens and trees.
- The heights should be set in alignment with the height of the heritage places so they are not lost.

- New buildings should complement the colour and materials used and not overshadow residential building south of the hospital.
- Parking will continue to be a major issue if it is not required to be on-site.
- All new buildings should incorporate underground parking facilities to take pressure off of on-street parking.

COUNCIL REVIEW AND OPTIONS

Memorial Hospital and Women's and Children's Hospital have 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Memorial Hospital and Women's and Children's Hospital to enable its intensification within their current sites.



Figure 5.7.1: Modelling showing DPA released for consultation

BUILT FORM

Consultation has reinforced the need to retain the heritage context which is underpinned by the Pennington Terrace frontage and views to the St Peters Anglican Cathedral from the Park Lands.

Memorial is quite visible from the south and surrounding Park Lands thus important to understand broader skyline impact of taller buildings. From the south, height up to 6 storeys will appear in front of existing W&CH buildings.



Figure 5.7.2: View looking north from Pennington Terrace of Memorial Hospital modelled with 4 and 6 level envelope (including amendment as recommended overleaf) with the Cathedral Spires featured at the west (left of page)



Figure 5.7.3: View looking west of Memorial modelled with 4 and 6 level envelope (including below mentioned amendment) with Cathedral spires behind



Figure 5.7.4: View looking west of Memorial modelled only showing 6 level envelope (including below mentioned amendment) with Cathedral spires behind

From the east, a six level envelope maintains views to the Cathedral spires, noting these diminish as a pedestrian in the Park Lands gets closer to Memorial. From the south, the 4 level envelope gradating up to 6 levels sits comfortably.

For the Memorial site, a 4 and 6 level envelope is seen as a suitable height to enable redevelopment for the future in context of views to the Cathedral from the east and the higher existing height of the Women's and Children's Hospital to the north.

Comments were received about the Church fronting Kermode Street. It is recommended that the Concept Plan is amended to remove envisaging development opportunities on this building and provide suitable setback. On the southern boundary, residential dwellings about the site. To ensure consistency among other sites, it is recommended (see Figure 5.7.4) that the concept plan be amended to show the interface as a design consideration, as well as the building envelope at the residential boundary be added to the principles.



Figure 5.7.4: Amendments to add interface to the Church, area marked "A".
Amendments to seek a greater residential interface, area marked "B".



Figure 5.7.5 Concept Plan as Released for Consultation

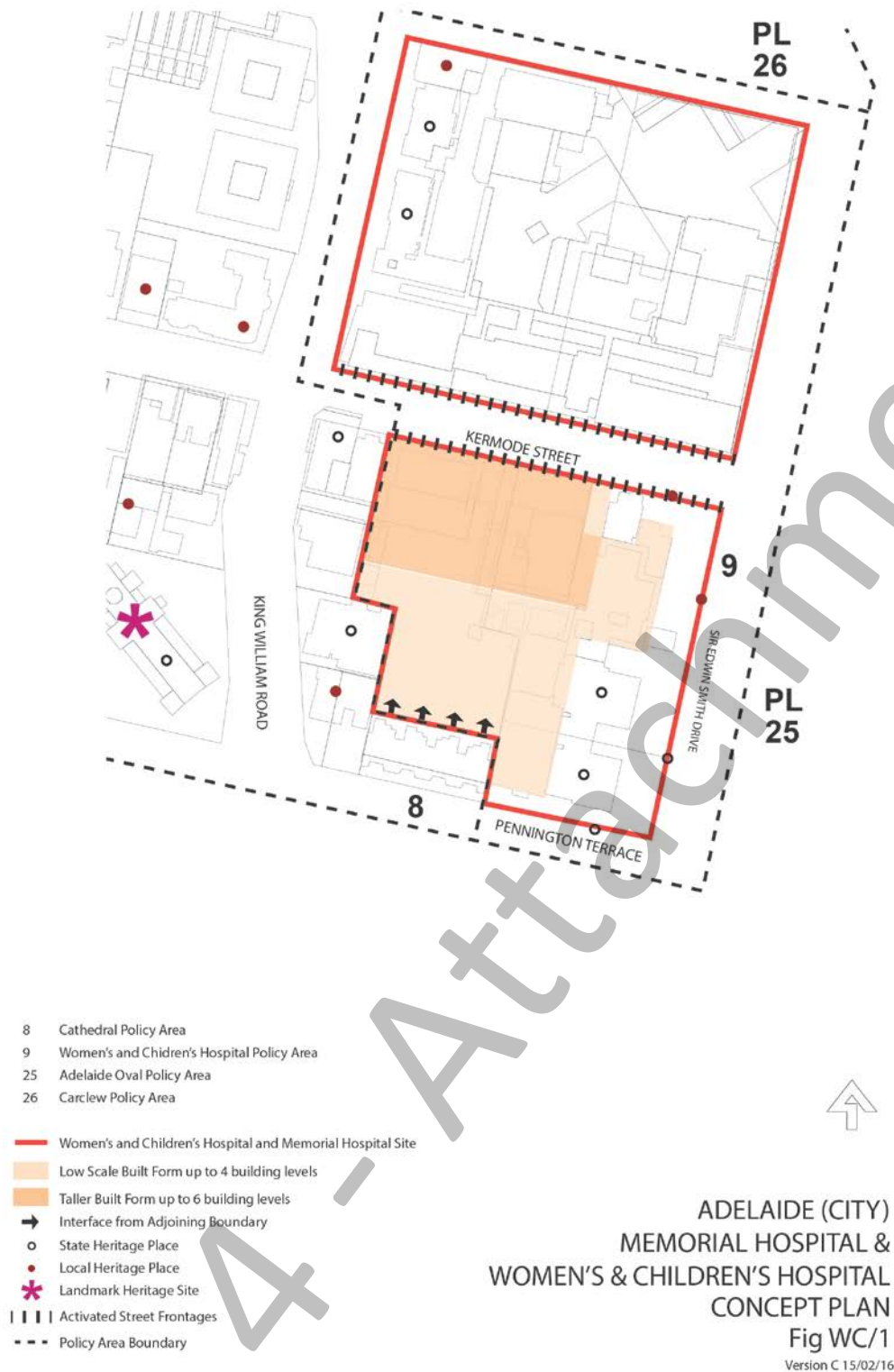


Figure 5.7.6 Concept Plan following Consultation

Following consultation, amend the Concept Plan to seek low scale adjacent to the Chapel, to identify interface matters at the southern boundary, and add in the building envelope policy.

5.8 Aquinas College



DPA PROPOSAL

The DPA proposes the following for Aquinas College:

- Allows continuation of student accommodation and associated uses.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Retain the visual prominence of the State Heritage Places by retaining the views and vistas of the facades from Palmer Place and Montefiore Hill frontages.
 - Allow for buildings up to 3 building levels (current maximum 2 building levels) where sited away from adjoining residential properties.
 - Continue to seek low scale streetscapes and landscaped open space provisions to reinforce that new development should integrate with the local character.
 - Removes plot ratio.

- Discourages unbroken buildings and unarticulated facades and encourages use of landscaped open space to break up building mass.
- Additional on-site car parking to be located at basement level.

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Rachel Sanderson Member for Adelaide MP (on behalf of her constituents):

- Car parking is a major concern.

Community Feedback

Landowner

- Restraints will remain if the DPA is authorised in its current form.
- The DPA reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and is at odds with the request of the Minister.
- The limitations do not reflect the existing activities and uses of the colleges. Activities such as academic tutoring, residential tutors, and mentoring programs are critical activities. Should be revised to include student accommodation and educational activities.
- Concept Plans will constrain regeneration and redevelopment. The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and concept plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties.

Other Stakeholders

- Hemmed in by 3 storey buildings on the north of the site otherwise the proposed maximum 3 storey height accepted.
- Ensure retention of limestone, bluestone and red brick fence around Aquinas College.

COUNCIL REVIEW AND OPTIONS

Aquinas College has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for Aquinas including its intensification within its current site as well as expansion to nearby sites.



Figure 5.8.1: Modelling showing DPA released for consultation

BUILT FORM

The main matter raised relates to the residential interface to the north of the site. The proposed Concept Plan released for consultation did not show a set back from this boundary. It is proposed that the Concept Plan be amended to set in the 3 storey envelope from the boundary, this refinement reflecting the building envelope proposed in the DPA that potentially enables single storey buildings on the boundary with upper levels set in.

The DPA also continues to ensure the Palmer Place and Pennington Terrace frontages are characterised by heritage listed mansions set in landscaped gardens. The red brick fence will continue to also be an important feature of the site as a local heritage listed place. This part of the College site makes a major contribution to the overall character of the area. No further change is recommended.

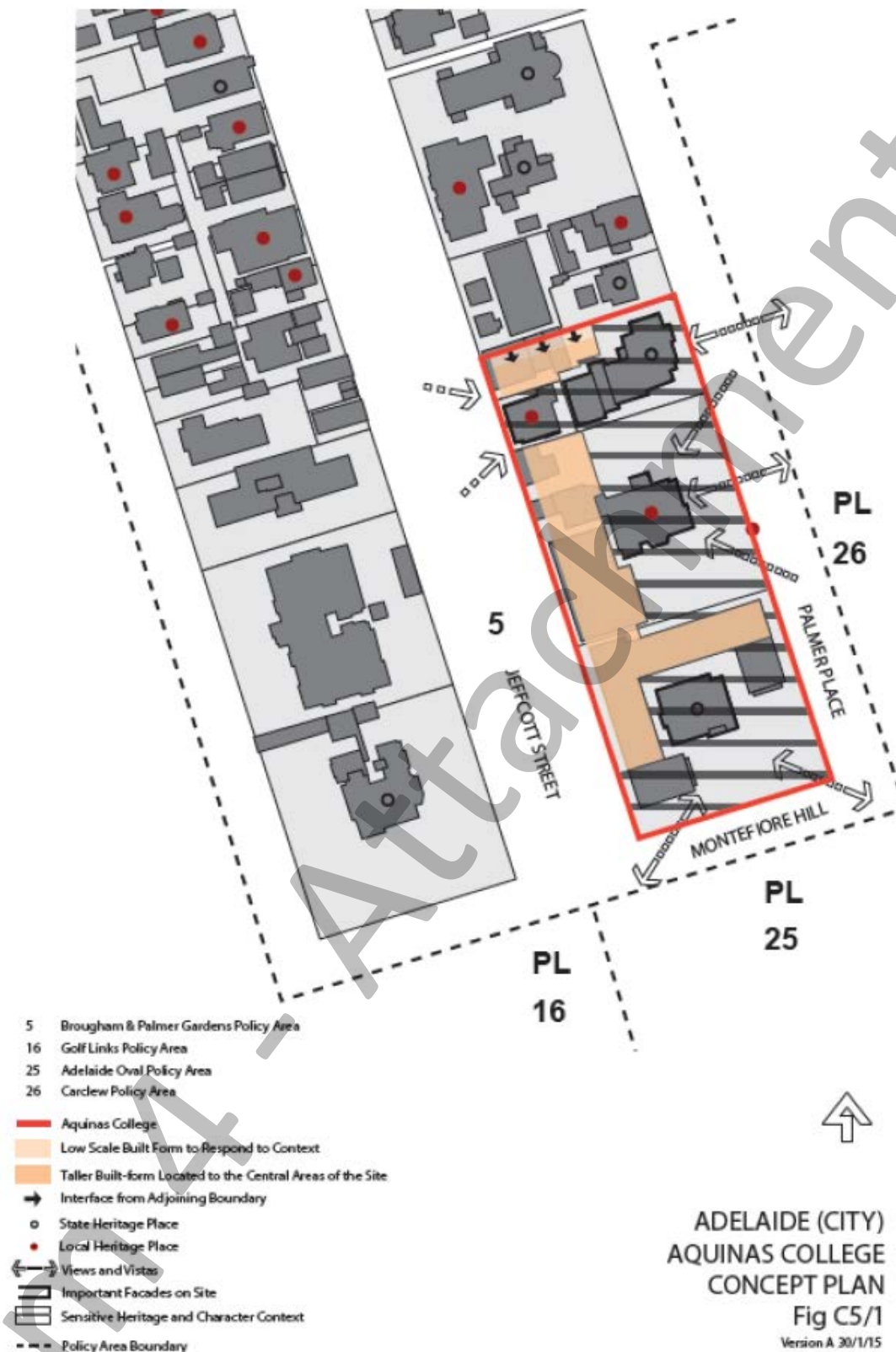


Figure 5.8.2 Concept Plan as Released for Consultation

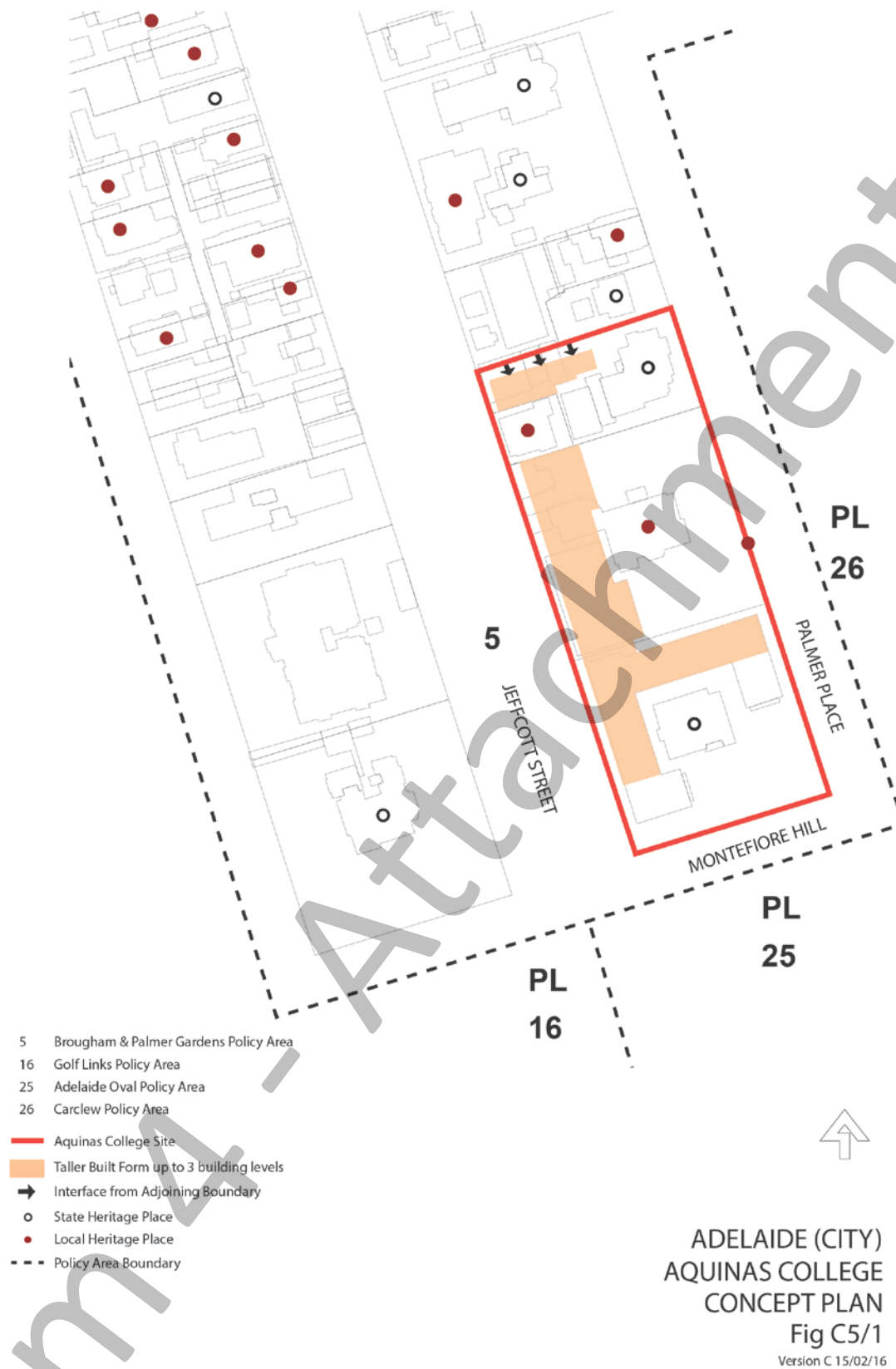


Figure 5.8.3 Concept Plan following Consultation

Following consultation, it is recommended that the Concept Plan be amended to shift the built form off of the northern boundary to be consistent with the proposed building envelope principle in the DPA.

5.9 St Mark's College



DPA PROPOSAL

The DPA proposes the following for St Mark's College:

- Allows continuation of student accommodation and associated uses.
- Amend policy to allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Allow for buildings up to 4 building levels (current maximum 2 building levels) where sited away from Kermode Street and Abbott Lane.
 - Retain prominence of State Heritage places including St Peter's Anglican Cathedral.
 - Removes plot ratio.
 - Discourages unbroken buildings and unarticulated facades and encourages use of landscaped open space to break up building mass.
 - Additional on-site car parking to be located at basement level.

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control's hinder the ability to deliver innovative and responsive design solutions for institutional sites.

State Agency Feedback

Nil

Community Feedback

Landowner

- Development heights should be allowed up to 5 storeys rather than 4 storeys.
- There is a need to accommodate around 250 students with quality and larger accommodation. Restraints will remain if the DPA is authorised in its current form.
- Amendments necessary to enable planning for the future with more certainty and confidence.
- Non heritage listed buildings should not be protected by any means.
- The DPA reduces the range of envisaged uses and restricts the uses to student accommodation only. This restriction is a backward step and is at odds with the request of the Minister.
- The limitations do not reflect the existing activities and uses of the colleges. Activities such as academic tutoring, residential tutors, and mentoring programs are critical activities. Should be revised to include student accommodation and educational activities.
- Concept Plans will constrain regeneration and redevelopment. The Concept Plans and their provisions are very prescriptive and unreasonable. The policy amendments and concept plans should be replaced with a range of reasonable performance based provisions designed to facilitate a number of options for redevelopment whilst ensuring no unreasonable amenity caused to adjoining properties

Other Stakeholders

- Proposed max. 4 storey height is accepted, given existing precedent ameliorated by the contours of the land, subject to 'quality design'.
- Concerned about the proposed building heights in relation to overlooking, shadowing and light reduction with no mitigation for non-residential properties south east of the site.
- Library has solar panels that have also been impacted.

- Question whether the adjacent open lot parking site on Kermode St, is intended to incorporate this site within the plan?
- Loss of heritage character of North Adelaide. Ensure retention of Chapel at St Mark's.
- Increased population will lead to increased traffic flows on relatively narrow streets.
- The Meeting House and its adjacent library are overlooked and partially overshadowed by the new car parking and residential development at St Mark's College.

COUNCIL REVIEW AND OPTIONS

St Mark's College has 'existing use' rights under the Development Act 1993. Section 1 – 4 recommends the continued support for St Mark's including its intensification within its current site as well as expansion to nearby sites.



Figure 5.9.1: Modelling showing DPA released for consultation Interface

Consultation comments were received in relation challenges with interface of the southern boundaries. Whilst the existing overshadowing policies and adjacent to heritage places policies would be applied, the consulted on Concept Plan infers building opportunities whereas a degree of separation between buildings is important in the heritage character of North Adelaide.

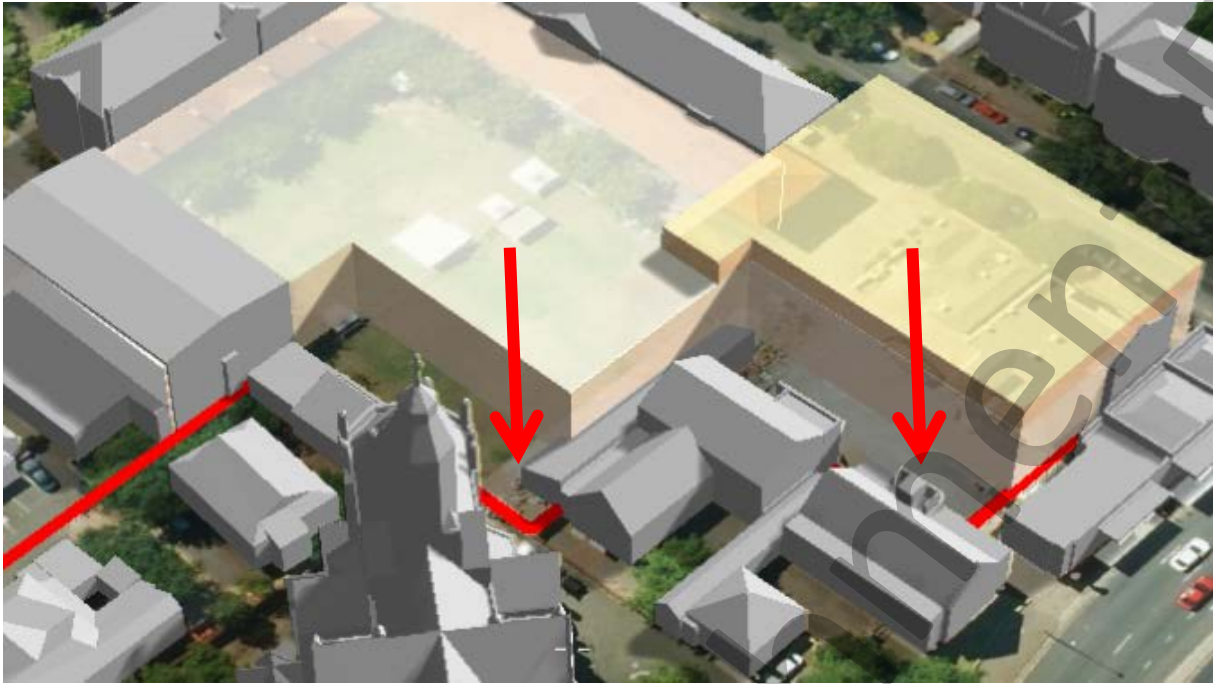


Figure 5.9.2 Proposed additional setback from the Cathedral in north eastern corner of St Mark's

Following consultation, it is proposed the Concept Plan locates the envelope off the boundary.

BUILDING HEIGHT

St Mark's College submission identifies the need to allow additional building height up to 5 storeys to accommodate additional floor space to take capacity to around 250 students.

The heritage context of St Marks is largely determined by the need to retain the prominence of the Cathedral and to be complementary to the lower scale setting of this part of North Adelaide.



Figure 5.9.3: Views to St Peters Anglican Cathedral.

Figure 5.9.3 shows where views are important and these views are one of the driving factors of urban form, height and scale.

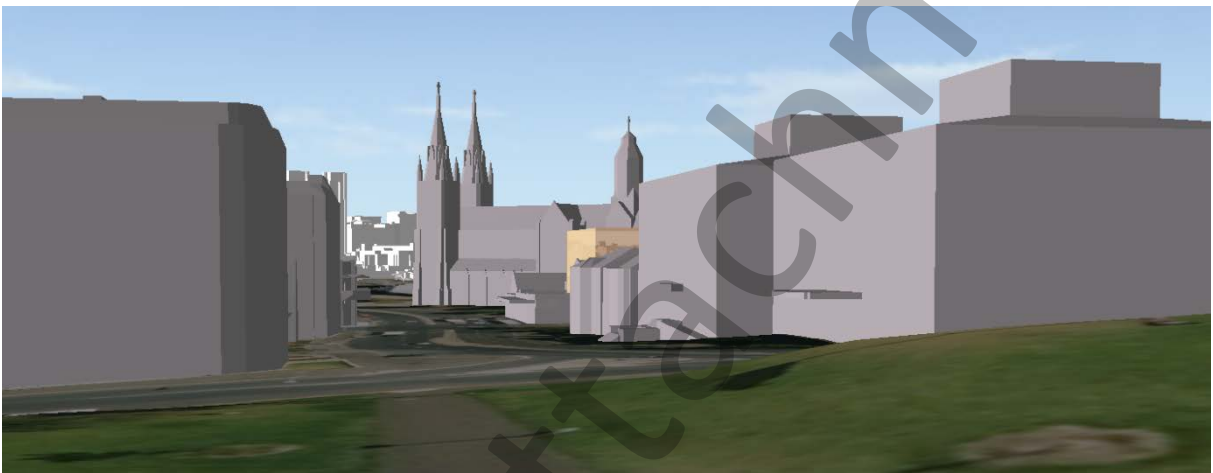
The impact of potential 5 storey buildings is considered detrimental to the views and heritage values of St Peters Anglican Cathedral, as key views would be unduly impacted by a building up to 5 storeys. Policy allowing 5 storeys would result in reducing the land mark status of the St Peters Anglican Cathedral. Figure 5.9.4 below identifies what impact the DPA proposals have at 3 – 4 storeys buildings. Any taller built form i.e. 5 storeys would have an impact on the prominence and visual sightlines of St Peters Anglican Cathedral. Given the significant impact, it is considered inappropriate to amend height provisions of the DPA.



(view above is King William Road looking north)



(view above is from Brougham Gardens south of O'Connell Street looking south)



(view above is from Brougham Gardens looking south, with W&CH on the left)

Figure 5.9.4: Views to the Cathedral with 3-4 storey envelope (including the slightly increased setback in the north eastern corner of St Mark's).

The consulted on DPA envisaged a 'low scale setting' to Abbot Lane, with buildings responding to context behind and into the St Marks site. To provide some clarity around this, it is suggested the DPA articulate a 2 storey built form outcome to Abbott Lane, with up to 3 storeys set back slightly from the Abbott Lane. Noting the corner building is already three storeys, the intent is to provide some visual relief on the narrow street.

Submissions raised generally a concern to the heritage setting of North Adelaide. On review of the development along Kermode Street it is considered that the taller built form should be set back from the street to enable continuity of the streetscape height which is three storeys. Subtle amendments to the concept plan are recommended.

Landscaped open space

The Memorial and Grenfell Price Lodge, as well as Hawker House, Downer House and Walkley Cottage, all have legal status as State Heritage or Local Heritage

Places. The scope of this DPA did not include changing the status of heritage places; accordingly their status will not be changed by this DPA.

The DPA intends that St Marks continue its 'Oxford' college style of buildings set within landscaped grounds. As such, the DPA continues the current Plan's principle seeking that 50% of the site be landscaped open space. Whilst the College are within their rights to replace Newland and Grenfell Price with new buildings, the College equally needs to provide the landscaped setting both to satisfy the Plan/DPA but also so that the built and landscape character of the College represents that niche offer.

Following consultation, it is proposed to continue the DPA proposal enabling 4 storeys (scaling down to 3 storeys and with a 2 storey frontage to Abbot Lane), with buildings within a landscape setting, noting a higher height puts at risk key views of the land mark of St Peters Cathedral.

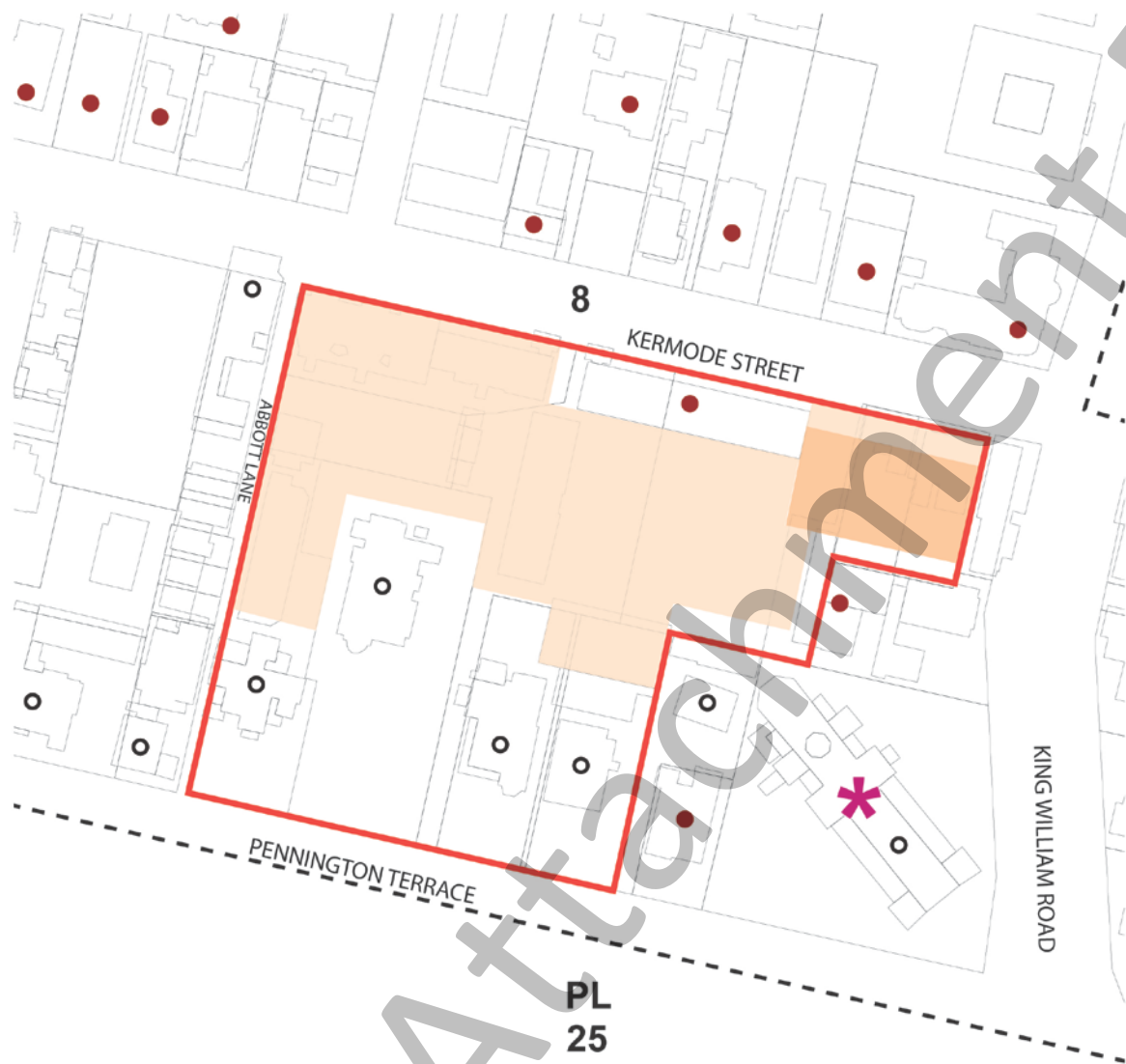
Amend the Concept Plan to ensure taller built form of 4 storeys is set back from Kermode Street.



- 8 Cathedral Policy Area
- 25 Adelaide Oval Policy Area
- St Mark's College
- Low Scale Built Form to Respond to Context
- Taller Built-form
- State Heritage Place
- Local Heritage Place
- Landmark Heritage Site
- Views and Vistas
- Important Facades on Site
- Sensitive Heritage and Character Context
- Policy Area Boundary

ADELAIDE (CITY)
ST MARK'S COLLEGE
CONCEPT PLAN
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Figure 5.9.5 Concept Plan as Released for Consultation



- 8 Cathedral Policy Area
- 25 Adelaide Oval Policy Area
- St Mark's College Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 4 building levels
- State Heritage Place
- Local Heritage Place
- * Landmark Heritage Site
- - - Policy Area Boundary

ADELAIDE (CITY)
ST MARK'S COLLEGE
CONCEPT PLAN
Fig C8/1
Version D 14/06/16

Figure 5.9.6 Concept Plan following Consultation

5.10 Archer West Policy Areas 13



DPA PROPOSAL

The DPA proposes a new Archer West Policy Area 13 with policy to:

- Enable the established mixed use land use pattern to continue and reinforce the residential focus of the broader North Adelaide Historic (Conservation) Zone.
- Allow an increased amount of development on a defined site (as identified on a new Concept Plan) that includes the following:
 - Retain the low scale streetscapes along Ward Street and Walter Street and a scale consistent with the existing scale of buildings along Archer Street.
 - Allow opportunity for medium rise buildings up to 6 storeys, centrally located and within landscaped grounds where impacts can be managed and the design contributes to the locality. Design guidance and building envelopes are proposed.
 - Ensure the low scale setting of Wellington Square is retained and reinforced.
 - Ensure the protection of land mark buildings such as Hebart Hall (Lutheran Seminary, formerly Whinham College).
 - Ensure new development respects the heritage places.

SUMMARY OF CONSULTATION

DPTI Comments

- The level of detail in the draft Concept Plans and associated Principles of Development Control (PDC's) hinder the ability to deliver innovative and responsive design solutions for institutional sites.
- There are a number of land uses exempted from non-complying classification in PA13 that are not exempted in other Policy Areas containing similar institutional uses.

State Agency Feedback

Nil

Community Feedback

Landowner

- The Lutheran Church of Australia (LCA) has a strong historical attachment in North Adelaide and seeks to renew and rationalise its national administrative and seminary facilities to secure its long term presence in North Adelaide;
- The LCA seeks to create an integrated community, cultural and residential precinct; A financially viable project will constitute a non-complying development under the current Development Plan, despite there being non-complying improvements currently on the site.
- Supports the proposed creation of a new PA13. To promote the orderly development and to maximise the potential for the land to be integrated as a whole, the LCA recommends that Area 13:
 - be included entirely within the Main Street (O'Connell) Zone; or
 - the LCA land holdings be identified as the only exception to the non-complying height trigger in PA13; or
 - the non-complying height trigger be removed entirely for PA13;
- Supports the land uses desired for PA13 however a museum is non-complying despite the desired character statement describing it as appropriate.
- Encouraged that an educational establishment in PA13 is not noncomplying, ensuring its educational history and ongoing educational presence is not lost;
- Changes to PDC 13 are needed which will better acknowledge the existing context and desired character of the streets whilst avoiding potential conflict between the application of PDC 8 and PDC 13; suggests the following changes:
 - Development up to 6 building levels or 18 metres may be appropriate, where parts of buildings above 2 building levels; or, where the height of an existing building fronting the street is greater than 2 building levels, the portion of new development above this height:
 - The extent of land required to be free of development for the purposes of an existing and future obstructed view/vista in Concept Plan Fig 13/1 will reduce the developable area of Area 2 which is not supported.

Other Stakeholders

- Concerned the 6 storey height is too high for this predominantly single and double storey area, and impinging on the settings of the landmark Lutheran Seminary Hancock Hall building, and two-storey heritage buildings to Wellington Sq /Jeffcott St.
- The building is too dense for the area and is not in keeping with the historic conservation. If the proposed changes go ahead, our beautiful heritage buildings, architecturally-significant landmarks, and historical cottages will be dwarfed by towering skyscrapers. This cannot be allowed to happen to Nth Adelaide.
- A more modest 3 to 4 storeys high density infill (set so as not to impact on landmarks) would be far preferable here, subject to 'quality design'.
- The skyline of the landmark Lutheran Seminary to Jeffcott Street will be lessened with a 6 storey backdrop.
- A buffer zone preventing overshadowing of residential dwellings and other key buildings already exists from Jeffcott to Walter St that prevents tall buildings from being constructed close to the footpath. Council should extend the overshadowing buffer along on Archer St to Immanuel Lutheran Church and the sites on either side.
- Would like the height of buildings limited so that privacy, natural light and views are not significantly compromised. There should be open space in between to break up larger buildings. It's important that proposed buildings are well designed and built with quality building materials in keeping with the character of North Adelaide. Wish to ensure that the trees along Archer Street are not destroyed by future development. Any trees removed should be replaced when works are finished.
- The DPA does not appear to pay heed to the desire of Council and SA Government to achieve a low/zero carbon city. Again, this point was raised at 1 October public meeting. The whole tenor of the proposals, especially the tall private development shown for Policy Area 13 suggests a high consuming, high energy, high emissions and high carbon society inhabited by the wealthy in their extravagant apartments with their 6 cylinder cars petrol guzzling 'Toorak tractors', coupled with loss of green open public and other space, the lungs of the city .
- The interface with Archer St will add to the traffic and parking pressures on this narrow, tree lined street as well as possible wind tunnel effects from high rise developments; 6 storeys is too high for this area.
- Retain Lutheran sandstone and red brick library (Lohe Hall).
- The block is surrounded by streets that cannot be widened. Archer is a small side street and Walter St is even narrower. Neither street can support increased traffic which brings increased noise and pollution. Many old cottages practically have their front doors on the street and have no buffer from the traffic. Buildings of 6-stories will ruin the historical atmosphere of the North Adelaide community. Low-level dwellings of 2-3 stories should be the maximum for this area.

- PA13 proposal should be amended to allow development with a maximum height of 3 storeys at the Wellington Square end whilst still allowing 6 storey developments at the O'Connell St business end.
- Any proposal should be required to allow for off street parking for residents, guests and the significant numbers of staff that will be required to service the potential business or aged care facility.
- Would like the boundary moved further east to preserve the hall's distinctive built form heritage.
- Parking is already problematic and needs to be addressed. Development should accommodate parking for all residents and staff on site.

COUNCIL REVIEW AND OPTIONS

The land affected by this Policy Area has 'existing use' rights under the Development Act 1993, including the various activities associated with the LCA. Section 1 – 4 recommends the continued support for educational/theological uses as well as residential uses.



Figure 5.10.1: Modelling showing DPA released for consultation

Land Use

The DPA proposes residential land uses and a mix of community and commercial type land uses. No retail was proposed by the DPA due to the need to reinforce the primary retail and centre role of the adjacent Main Street (O'Connell) Zone.



Figure 5.10.2: Land Use Map (pink non-residential/commercial, blue residential)

Figure 5.10.2 identifies that while existing land uses are mainly residential, other uses include consulting rooms, offices and banks.

Varied comments were received in relation to land use, from the area should be entirely residential to allowing a mix of uses provided the impacts were managed.

The DPA intends to allow opportunities to maintain the existing land uses and also allow opportunities to expand existing non-residential community, commercial type land uses.

The DPA proposes opportunity for sensitive residential infill. Additional population offers significant opportunities to improve the catchment for O'Connell Street and to provide housing opportunities for a range of demographics including students, families and the ageing. This aligns with the strategic objectives to grow the city's population and in particular to fill the gap of seniors housing. The DPA provides additional flexibility to provide a range of housing options.

The DPA released for consultation continued the current Plan's nomination of museum as non-complying. The Lutheran Church of Australia submission seeks flexibility to provide a 'museum'. This is considered a positive attribute to the area and would generate similar impacts to other non-residential land uses and should be able to be assessed on its merits. The NAH(C)Z non-complying list utilises a range of land use terminology that has long existed and for the proposed Policy Area 13, following consultation, a review identifies – in addition to the museum change – a number of other proposed variations. The proposed variations reflect the intent that the Policy Area be predominantly housing and housing related low impact non-residential/community uses.

The DPA released for consultation sought to recognise the existing land uses and the existing policy framework of Policy Areas 3, 4 and 5. Hotel and hospitals are currently merit on Archer Street as they pertain to Policy Areas 3 and 4. Submissions raised a concern regarding the over impacts on non-residential development within the Zone and policy area. Given the proximity to the Main street (O'Connell) Zone providing

ample opportunities for hotel and hospitals it not considered necessary to retain the merit approach to these land uses in policy. In order to prioritise residential development in this locality, it is recommended that these land uses are removed and considered as non-complying. .

It is recommended to continue with the DPA enabling residential and a mix of community related land uses.

Varying the DPA to remove museum, from the non-complying trigger.

Amending the DPA to add hotel and hospital as non-complying.

Built Form

Submission raised a number of matters in relation to the built form and particularly sought the protection of residential amenity and historic character. In addition, where additional built form would be developed, submissions sought to ensure that it was complementary to the historic character and added value to the neighbourhood. There were concerns raised about the impact of taller built form of the locality and impact to the Wellington Square, Archer Street, Ward Street and Walter Street.

In considering the submissions, it is noted this areas has the least intact historic character compared to other localities in North Adelaide. There are many buildings that are incompatible with the historic built form and many areas of the site are underdeveloped i.e. surface car parking. Given the area comprises the largest site in single ownership, and its proximity to the Main Street (O'Connell) Zone, this lends support for more regeneration opportunities compared to other areas in North Adelaide.



- 3 Wellington Square Policy Area
- 4 Tynite Street Policy Area
- 5 Carclew Policy Area
- 13 Archer West Policy Area
- MS Main Street (O'Connell) Zone
- Low Scale Built Form to Respond to Context
- Taller Built-form Located to the Central Areas
- Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- Views and Vistas
- Important Facades on Site
- Sensitive Heritage and Character Context
- Policy Area 13 Boundary
- Policy Area Boundary



ADELAIDE (CITY)
 ARCHER WEST POLICY AREA
 CONCEPT PLAN
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Figure 5.10.3 Concept Plan as Released for Consultation



- 3 Wellington Square Policy Area
- 4 Tynte Street Policy Area
- 5 Carclew Policy Area
- 13 Archer West Policy Area
- MS Main Street (O'Connell) Zone

- Policy Area 13 Boundary
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- ✱ Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary
- Interface with low scale buildings

ADELAIDE (CITY)
 ARCHER WEST POLICY AREA
 CONCEPT PLAN
 Fig 13/1
 Version D 14/06/16

Figure 5.10.4 Concept Plan following Consultation

BUILDING HEIGHT/SCALE

The DPA released for consultation proposes low-scale buildings fronting Archer, Ward and Walter Streets with buildings in landscaped settings upto 6 levels centrally located (Refer **Figure 5.10.5**)



Figure 5.10.5: View of building envelope as released in DPA for consultation. Noting that this images shows the outline

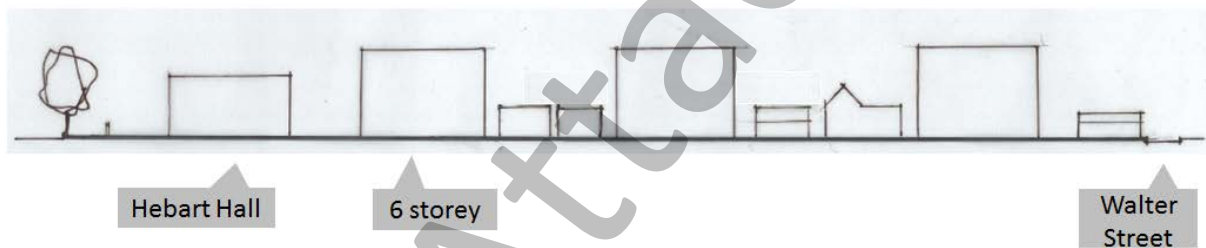


Figure 5.10.6: indicative east/west cross section looking north illustrating 3, 6 level buildings and looking northwards through space to low scale 2 storey buildings facing Archer Street.

From consultation, there were comments about the appearance and overall bulk of buildings, fitting reasonably comfortably into the locality. In order for taller built form to sit comfortably in the locality, there is a need to ensure that it has limited impact to the historic streetscapes and lower scale residential dwellings. It is considered that the size of the policy is large enough to accommodate medium scale development, it is important that is designed to limit the impact on the historic locality.

Refinements to the policy area and concept plan are recommended ensuring that new buildings respond to the historic pattern of development and transition to lower scale development of the locality. A smaller area of taller built form is proposed to ensure that the taller built form is set back from the streetscapes. Taller built is still considered acceptable where on large and consolidated land parcels and limits impact to residential amenity. The 'Building Envelope' principle provides the policy to ensure that taller built form elements are sited well away low scale built form.

Amend the desired character statement, and associated principles, to reinforce the policy to seek medium scale buildings where located on large land parcels, sited to the central areas of the site, away from historic streetscapes, heritage places e.g. Hebart Hall. Reinforce policies to ensure there a number of small footprint buildings set in landscaped open space that provides a clear and legible street pattern and with clear view corridors in between buildings.

Landscaped Setting

The DPA released for consultation seeks 30% of sites developed as landscaped open space. The current Development Plan includes the area in three policy areas, the southerly part in Policy Area 5 seeking 50%, the northerly part in Policy Area seeking 30% and western area in Wellington Square Policy Area seeking 50%.

During consultation, there was strong desire to maintain an open residential character. It is intended that the area is redeveloped with buildings with a similar pattern of development including in landscaped settings such as front yards, lane ways and private and community open space. This will provide relief from additional low to medium scale development. It is recognised that the Development Plan – including a revised desired character statements and principles – are applied on a fact and degree basis but the starting point is what the Plan seeks. Given the intensity of the change proposed, there is a need to reinforce the landscape value for future development. It is recommended that the DPA is amended 40% noting this is in between the requirements of the Development Plan.

Amend the DPA to seek that 40% of each site is set aside as landscaped open space.

Regard for historic materials and design

The DPA proposed policy to seek buildings compatible with the heritage values.

Consultation reinforced the desire to ensure that the built form was finished in materials that would complement and add value to the historic character. Whilst the Zone seeks contemporary and innovative designs, compatible materials are important to reinforce the heritage values. It is proposed to strengthen the policies to ensure the prominent locality is protected and heritage values reinforced. This would mean that the materials would need to be complementary to historic materials such as stone, brick, render, steel and terracotta.

In addition to materials, the design of the buildings is important to complement the heritage values and to be designed in context with its locality. Policies of the Zone provide for development to relate to the vertical and horizontal proportions of historic buildings. Within the Zone, there are policies that seek this built form outcome. However, it is considered there is a need to strengthen these policies within the policy area.

Strengthen the Policy Area to ensure that materiality, colours and tones of new buildings have regard to historic built form.

Strengthen policies to ensure buildings are designed with due regard to the historic building design.

Wellington Square Views/ Interface with Hebart Hall



Concept Plan showing the view

Figure 5.10.6 View from Wellington Square to Lutheran land modelling DPA as released for consultation and corresponding Concept Plan.

Views from Wellington Square are important as they reflect the historic pattern of development and achieve an appropriate interface from Hebart Hall. During consultation, comments were received around the desire to maintain the low scale setting of Wellington Square and provide more relief from Hebart Hall.

To improve the visual relationship, it is proposed to remove the 6 level notation immediately to the north east of Hebart Hall on the Concept Plan. Given the existing building is 4 levels, when it is redeveloped, its existence and scale, as well as the significant scale of Hebart Hall itself, is able to be taken into account in the assessment of a new building.

On balance, it is considered that the Concept Plans identification of buildings to 6 levels being possible where sited in alignment with buildings fronting the eastern side of Wellington Square provides a comfortable fit with the urban fabric.

Remove the 6 level notation immediately to the north east of Hebart Hall on the Concept Plan.

View Corridor

The DPA proposed a view corridor to the rear of the heritage building fronting Ward Street (Refer Figure 5.10.4)

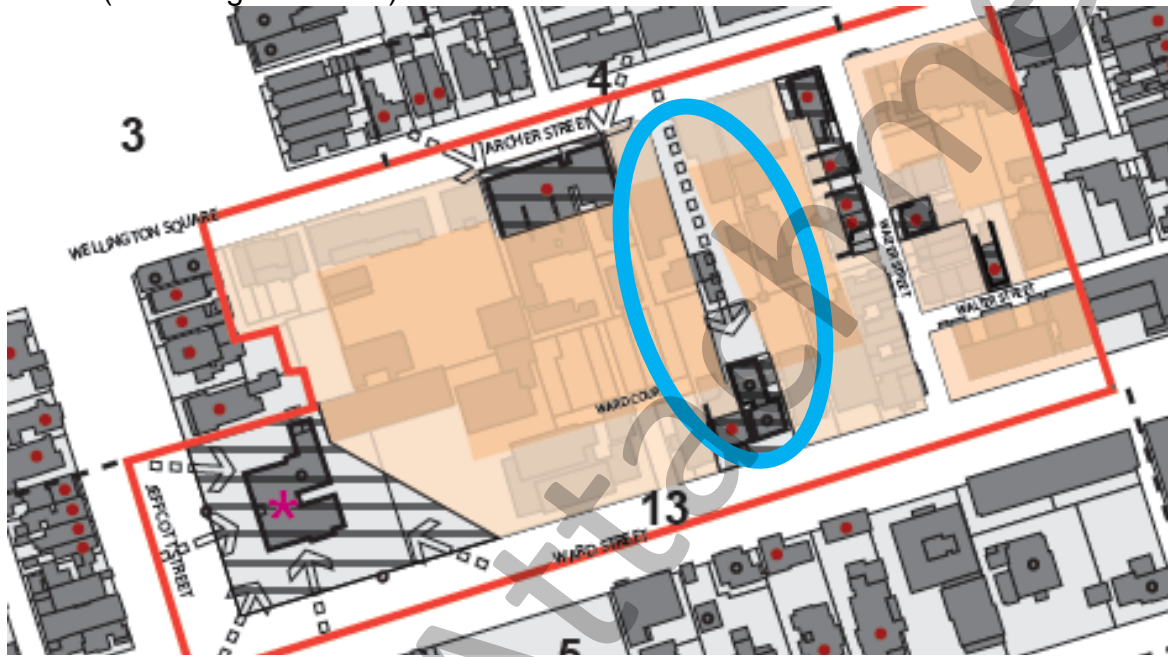


Figure 5.10.4: View to State Heritage Place in Blue on Concept Plan released for Consultation

Comments were received around the value of this view from Archer Street. The rationale for this view corridor included enabling views to the heritage place from Archer Street and to introduce a break in building mass along Archer Street.

Following consultation, it is considered as the view is disrupted by an existing building and requiring this view would impact on the development opportunities at the rear of the State Heritage Place. Reinstating a view is not considered a high priority. A better location for a north south link may also be established.

As the DPA continues policies around heritage context and seeks buildings set in landscaped setting, that this is sufficient for the visual value of the heritage place in its context to be considered in the siting and design of new buildings.

Interface relationships with Low Scale Housing within and Adjacent the Policy Area

The Concept Plan released for consultation located built form on the western boundary.



- 3 Wellington Square Policy Area
- 4 Tynte Street Policy Area
- 5 Carclew Policy Area
- 13 Archer West Policy Area
- MS Main Street (O'Connell) Zone

- Policy Area 13 Boundary
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary
- Interface with low scale buildings



ADELAIDE (CITY)
ARCHER WEST POLICY AREA
CONCEPT PLAN
Fig 13/1

Version D 14/06/16

Figure 5.10.5: Recommended amendments to the Concept Plan including more of a set back from western boundaries

Spaces between buildings and buildings away from boundaries are part of the historic pattern in North Adelaide. Consistent with the approach at Aquinas, it is recommended that amendments are made to the Concept Plan to illustrate a setback the western boundary and to flag that scale relationships between the dwellings fronting Walter Street and buildings behind are important.

The PA13 released for consultation proposes a building envelope policy enabling single storeys on boundaries with higher forms progressively set in. The envelope policy in PA 13 is proposed to apply to building development adjacent low scale dwellings, both external to the Policy Area (eg those fronting Jeffcott Street) as well as within the Policy Area (eg those along Walter Street). Both the Concept Plan and the building envelope policy are to be used in assessment with other policies such as landscaped settings and also Council wide policies on overshadowing and building on/near boundaries to minimise the impact on low scale dwellings of envisaged taller built form.

Following consultation, amend the Concept Plan to shift built form off of the western boundary and to flag interface relationships along Walter Street, noting the Concept Plan is to be used in conjunction with the building envelope policy proposed in the DPA and other Council wide policies

Transport Planning

During consultation, concerns were expressed around the costs associated with basement parking for buildings other than low-scale buildings. Whilst this is a factor, with the uplift in development potential in the DPA, it is likely that this would be a viable design outcome. Given the significant benefits to visual amenity and site yield, no changes are proposed to this principle.

In terms of traffic volumes, concerns were raised with the impact to streets and in particular on Archer Street. Suggestions were made to ensure Ward Street to be the primary location for access. Archer and Ward Street both have a single traffic lane however it is noted that at the intersections there is additional capacity on Ward. Archer Street has a more established stand of trees. In considering comments received, there is scope to retain this stand of trees and reduce the volumes on Archer Street. This will also assist to maintain the level of on street parking.

Amend the DPA to focus access for movement on Ward Street rather than Archer Street.

DRAFT DEVELOPMENT PLAN POLICY DOCUMENT AND CONCEPT PLANS

POST CONSULTATION (subject to final
refinement and legal review)

This document is provided to assist with the ease of understanding the proposed amendments to the Development Plan.

Blue indicates the proposed changes (shown at consultation)

Black indicates existing policy where no change is proposed

~~Black~~—strikethrough indicates deleted policy

Green indicates post consultation changes

Please refer to Amendment Instructions for the technical amendment.

DRAFT AMENDMENT NORTH ADELAIDE HISTORIC (CONSERVATION) ZONE

Introduction

The desired character, objective and principles of development control that follow apply to the North Adelaide Historic (Conservation) Zone shown on [Maps Adel/6 to 15](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions.

Statement of Heritage Value

North Adelaide is part of the historic plan of the City of Adelaide. The historic character of North Adelaide provides strong cultural and historic evidence of the creation of the colony, the establishment and consolidation of early settlement and the subsequent development of South Australia's capital city over time.

South Australia was established as a semi-commercial venture later taken over by the British government. North Adelaide formed a distinctive part of the plan for Adelaide drawn up in advance of settlement by Colonel William Light, who was appointed Surveyor-General by the South Australian Colonisation Commission. North Adelaide repeats the grid land division pattern created by Light's plan in South Adelaide, and comprises three small grids now described as Upper North Adelaide, Lower North Adelaide and the Cathedral area. The Town Acres were disposed in a regular grid layout around Wellington Square, the only public open space incorporated within the initial plan for North Adelaide other than the Park Lands belt. The location of the three distinct areas reflects Light's understanding of the local topography. The layout of one acre blocks with large frontages to unusually wide streets around the Square and Park Lands maximised views to the open spaces and the Adelaide Hills in the distance.

North Adelaide is essentially a group of three residential villages separated from the square mile of the City by the belt of Park Lands. It has developed in parallel with the southern part of the City but with a greater emphasis on residential growth and the provision of local services in each area for the immediate residents. Although the original Town Acres have been divided and further developed over time, Light's Plan has been preserved essentially as he conceived it.

Following survey and settlement, the natural landscape was converted to a cultural landscape which now reflects the divisions of wealth and influence in the early colony. The built form of North Adelaide is indicative of the social divisions and occupations of Adelaide society from early settlement. It retains many buildings and sites of State and local heritage value ranging from large mansions to simple row cottages, corner shops and hotels to major churches and institutional buildings that reflect the different periods of development. The diversity of scale and integrity of the remaining historic built form is a microcosm of development periods and traditional housing styles in the State as a whole.

North Adelaide also retains strong physical evidence of the historical stages of the development of the colony, most particularly the typical 1850s to 1880s village type settlement pattern, with shops and other services. These remain in Kermode Street, Melbourne Street and Tynte Street particularly, as these streets served as the local main streets for the three discrete sections of North Adelaide. As the colony grew, North Adelaide became the location for a number of major religious and institutional organisations and their buildings, and for the residences of many notable Adelaide community members.

North Adelaide has historically developed a role in the health and education sectors through established public and private organisations on large land holdings. Many of the organisations are on prominent sites and provide an important range of education, student accommodation, health and aged care services.

Upper North Adelaide, Lower North Adelaide and the Cathedral area each display unique characteristics that contribute to the understanding of the heritage value of the Zone, as follows:

Upper North Adelaide

This area contains Policy Areas 1 to 7 and is the largest of the three North Adelaide areas.

Tynte Street originally served as the local main street for Upper North Adelaide and major community buildings reflect its early function, including the school, post office, institute, fire station, Baptist church, and early shops. The introduction of the horse-drawn tramway along O'Connell Street in 1878 drew commercial development away from Tynte Street but also made the western Town Acres which were previously sparsely settled, more accessible and construction of substantial houses soon followed.

Prior to this period the area of Upper North Adelaide west of Wellington Square was the least desirable place to live in the City. Several religious orders were able to afford to buy land here, such as St Lawrence's in Buxton Street in 1867 and St Dominic's Priory in Molesworth Street in 1893 (during an economic recession when land prices were low). These large institutions create a contrast to the more intense residential subdivisions and housing development around them. The 1883-4 City Land Investment Company subdivision of Town Acres along Barnard and Molesworth Streets resulted in a sequence of large residences which form an important part of the physical character of Upper North Adelaide. A number of these still remain as State Heritage Places between Hill Street and Wellington Square.

The elevated land adjacent the Park Lands, such as along Lefevre Terrace, Mills Terrace and Strangways Terrace, provided prestigious residential addresses. Narrower streets, such as Margaret and Curtis Streets retain characteristic small scale worker housing. A range of one and two storey villas characterises the most common built form throughout the rest of the area.

The advent of the electric tramways public transport system in 1909 established O'Connell Street as the main link to the northern suburbs and it became a major hub of activity, providing a commercial and services focus for residential development. The street retains examples of traditional commercial architecture of one and two storeys, attached rows and single shops, forming a linear shopping strip. Heritage Places have been identified in the Main Street Policy Area MS1, although the Policy Area is not within the North Adelaide Historic (Conservation) Zone.

Lower North Adelaide

This area contains Policy Areas 10–12. The Main Street Zones - Melbourne East and Melbourne West, service this area.

Lower North Adelaide sits at an oblique angle to the City, encompassing 86 Town Acres and surrounded by Park Lands. Its topography is characterised by the escarpment of the Torrens Valley, known as the North Adelaide scarp, a steep rise from Melbourne Street to Stanley Street, below which the area is relatively flat, towards the River Torrens.

The ridge of the scarp along Kingston Terrace/Stanley Street and the frontages to the Park Lands provided for prestigious residential addresses. The higher concentration of small cottages in the lower section below the scarp reflects the early subdivision of these Town Acres into estates providing workers housing following the establishment of local manufacturing industries such as the Lion Brewery. The creation of the road through Brougham Place in the 1860s and the introduction of horse drawn trams along Melbourne Street in 1878 gave this section of North Adelaide closer links with the rest of the City and made the area an attractive location for workers to live.

Melbourne Street was originally the village centre for the area, which included small shops, businesses and other uses such as St Cyprians Church interspersed with housing. The central node of the village was at the Melbourne Street/Jerningham Street intersection, where major two storey structures, including the Lion Hotel, brewery buildings and former ANZ bank remain.

The original character of Melbourne Street is still evident, although most of the original housing that remains has been converted to commercial use.

Cathedral Area

The Cathedral area sits immediately north of the City at an angle to Upper North Adelaide and contains Policy Areas 8 and 9. Comprised of 24 Town Acres on land sloping upward to the north and west, it is the smallest of the three areas and serves as an entry point to Upper North Adelaide.

St Peter's Cathedral, dating from 1869, is a major landmark and visually dominates this area which is characterised by large institutional buildings, with residential development located primarily to the west. St Mark's College, much of which is comprised of new buildings, is grouped around substantial early residences along Pennington Terrace.

Until 1856, Kermode Street was the 'High Street' of North Adelaide. The characteristic collection of shops, a police station, a church and hotel (the still trading Queens Head) were located along this street, and there are several pre 1850s buildings remaining in this area.

Small cottages and worker housing, such as in Brougham Court, provide a contrast with the more substantial villas with Park Lands frontage around Palmer Place and along Pennington Terrace and are indicative of the diverse social composition of the early resident population.

OBJECTIVES

Objective 1: Conservation of the heritage values and historic character of North Adelaide established by areas of intact and architecturally diverse historic townscapes in a series of wide streets and other roads laid out according to Colonel William Light's original 1837 town plan.

Objective 2: Development compatible with the heritage values and historic character of the Zone achieved by:

- (a) supporting and reinforcing the Statement of Heritage Value for North Adelaide and the desired character for each Policy Area;
- (b) maintaining a regular allotment pattern and orientation of buildings to public roads and incorporates high standards of design, building materials and landscaping to complement the:
 - (i) pattern of land division established by Heritage Places, particularly the width of frontage;
 - (ii) bulk and scale of residential Heritage Places;
 - (iii) front and side boundary building set-back patterns of adjacent Heritage Places in each Policy Area; and
 - (iv) established environmental quality of public and private landscaped open spaces and the adjacent Park Lands;
- (c) buildings interspersed with open space and landscaped front gardens forming a distinct edge to the majority of the perimeter of the Zone, visually defining the interface with the Park Lands;
- (d) a high degree of pedestrian amenity and safety achieved through landscaping, paving and streetscape works, with convenient access to the Park Lands, Wellington Square and the Main Street Policy Areas; and
- (e) managing vehicle access and parking to conserve and enhance the heritage value of North Adelaide.

Objective 3: A Zone where the existing housing stock is maintained through the retention of Heritage Places and the number of dwellings increased primarily through:

- (a) the replacement of buildings that are not identified Heritage Places;
- (b) the development of vacant or under-utilised sites that does not compromise the established residential amenity and the identified heritage value of the Zone and Heritage Places; and
- (c) a change in use of non-residential buildings for residential purposes.

Objective 4: A Zone which continues the role in the health and education sectors whilst maintaining residential amenity through sensitive design of the built form and sensitive operation of these activities.

PRINCIPLES OF DEVELOPMENT CONTROL

In the Zone and Policy Areas 1 to 13 42-inclusive, a reference to a:

- "major street" means a street with a road reserve 15 metres or greater in width;
- "minor street" means a street with a road reserve narrower than 15 metres in width.

1 Development should:

- (a) retain and conserve Heritage Places;
- (b) reflect the historic built form and its visual character through residential development of complementary design, form and density consistent with the desired character for each Policy Area; and
- (c) contribute to the landscape character of private and public open spaces and incorporate attractive landscaping to street frontages where building set-backs permit.

2 Development should increase the amount of residential accommodation in the Zone by:

- (a) a change in use of non-residential buildings to residential uses;
- (b) development of vacant and under-utilised sites that can be achieved without adverse impact on the established residential amenity and the historic character of the Zone or relevant Policy Area; and
- (c) the redevelopment of sites containing buildings that are not Heritage Places which are presently incompatible with the historic character of the Zone or the desired character of the Policy Area, particularly buildings that are visible from public roads.

3 Development of new buildings or building additions of innovative and contemporary design should demonstrate a compatible visual relationship with adjacent Heritage Places and other buildings prevailing in the Policy Area that reinforce the desired character by compatible:

- (a) bulk and scale;
- (b) width of frontage and the front and side boundary building set-back patterns;
- (c) proportions and vertical and/or horizontal emphasis, exhibiting vertical openings and a high solid to void ratio in the composition of the principal building facade and other elevations presenting to a public road; and
- (d) form and level of visual interest as determined by length and size of unbroken walling, articulated and modulated frontages, treatment of openings and depths of reveals, roofline and silhouette, colour and texture of materials used, as well as detailing (without excessive use or mimicry of decorative elements and ornamentation) and design elements such as porches, verandahs and balconies where appropriate.

4 New buildings should utilise stone, brick and/or brick render as the main external finish to walls to complement the historic built form in the Zone. Coated surfaces that are visible from the

street should be finished in natural render, limewash, cement or mineral paints, not plastic coatings or renders. Buildings with brightly coloured or highly reflective surfaces should not be developed.

- 5 Development should achieve the minimum landscaped open space requirements prescribed for each Policy Area.
- 6 Development should not introduce building styles that are out of character with the desired character of the relevant Policy Area.
- 7 Development should not exceed the height limit prescribed for each Policy Area. The height of new buildings, including the floor to ceiling clearances of each level, should take reference from the prevailing building heights within the locality, with particular reference to adjacent Heritage Places.
- 8 In a locality where single storey development prevails or is desired in accordance with the relevant desired character, low profile solutions to two storey development that are located to the rear of an existing building, may be appropriate subject to no adverse impacts on the historic character of the streetscape and overshadowing and privacy impacts on neighbouring land.
- 9 Where consistent building set-backs from front, side and rear allotment boundaries prevail, new development should be consistent with these established setbacks. Where a consistent building set-back is not evident in a particular locality, new buildings should not project forward of Heritage Places adjacent the development site. Building to side boundaries (other than for party walls in semi-detached, row dwellings or residential flat buildings) or to a rear boundary is generally inappropriate, but may be considered where it is demonstrated that there will be no detrimental effect on residential amenity or adjacent Heritage Place(s).
- 10 Redevelopment of corner sites containing buildings that are not Heritage Places should provide facades to each street frontage and should only be sited on or close to the corner frontages where the development complements the siting of Heritage Places on adjacent corner sites.
- 11 Appropriately pitched roofs to visibly reinforce the prevailing character of historic roof forms in the Zone should be incorporated in development rather than mono-pitch or flat roof forms falling to the street frontage or asymmetrically to a side boundary.
- 12 Residential flat buildings or group dwellings should be designed to have the appearance of a detached dwelling as viewed from the primary street frontage.
- 13 Row dwellings should only be developed where vehicle access can be provided from laneways or minor streets. Row dwellings should not incorporate garaging for vehicles in the building elevation to the primary street frontage and should not be comprised of more than six attached dwellings in any one group.

Fencing

- 14 Fencing to a street frontage (including any secondary street frontage) and returning along the side boundaries to the alignment of the main face of the principal building on the land, should:
 - (a) be of traditional style and detailing that is compatible with the style of the building, or in the case of a new building, its design should reflect historically sympathetic fencing styles evident in the particular streetscape;
 - (b) on the primary street frontage, comprise low fencing or fencing with an open character combined with solid pillars and plinths or other similar fencing styles that allow views of the associated building, by their height and design;
 - (c) comprise materials compatible with traditional fencing materials such as stone and cast iron, brick, stone or rendered pillars and plinths or other traditional materials such as timber or well detailed masonry, but should not include metal sheeting; and

- (d) not include solid masonry fences on the primary street frontage other than where it is required to be consistent with fencing of identified heritage value on the development site.
- 15** On corner sites, the front fence should return on the secondary street frontage at the same height up to the alignment of the main face of the building on the land. The remaining rear section of side fences on a secondary street frontage should be constructed of traditional materials such as brick, rendered masonry and timber and should not be higher than 1.8 metres above ground level.
- 16** Fences on rear and side property boundaries (behind the main face of the building), should not be higher than 2 metres above ground level and should be constructed of traditional materials, including corrugated metal sheeting. Side fences or walls above 1.2 metres are generally inappropriate forward of the main face of a building. Forward of the main face of the building, fences should be of a scale that allows oblique views of buildings.

Access and Car Parking

- 17** Vehicle access to land should be via minor streets, rear lanes and existing crossovers wherever possible. In a street where vehicle access does not prevail on the primary street frontage, new crossovers should be avoided.
- 18** New vehicle crossovers required for development should be:
 - (a) of minimum width to preserve and enhance street character;
 - (b) designed to narrow the crossover width towards the road pavement and located to avoid the need to remove historic kerbing and regulated and significant trees;
 - (c) separated from each other and located so that as many on-street car parking spaces as possible are retained; and
 - (d) placed to avoid relocation of utility and infrastructure inspection points, poles and equipment.
- 19** Vehicle parking arrangements should not incorporate undercroft parking (unless specifically expressed in a Policy Area as a possible development option in a particular street) or other parking or access arrangements that are not in keeping with the heritage character of the Zone.
- 20** Other than low scale residential development, car parking should be provided at basement level to optimise the use of land and to limit the visual impact on the amenity and historic street character of the Zone.
- 21** Low scale residential development should provide on-site car parking and open car parks and buildings for parking vehicles that are:
 - (a) located at the rear of sites wherever possible;
 - (b) designed and sited to ensure garage doors do not visually dominate the primary street frontage; and
 - (c) be located behind the main face of the associated building.
- 22** Driveways commencing from a primary street frontage and terminating at or near the rear of a site, such as in hammerhead allotments and shared driveways in group dwelling developments, should be located, landscaped and fenced to minimise detrimental impact on the streetscape appearance and the amenity of neighbouring residential properties.

Land Division

- 23** The division of land should take reference from the established allotment frontages in the relevant street and aim to create regularly proportioned allotments capable of containing dwelling types consistent with the desired character of development fronting the street.
- 24** The division of land in the form of a hammerhead allotment or similar allotment arrangement, such as a community title land division that includes a shared driveway, should:
- (a) have a frontage to a public road and a 'handle' width of not less than five metres and not more than six metres to enable the provision of landscaping on both sides of a driveway for its full length and a driveway pavement of not more than 3.5 metres in width;
 - (b) locate allotment boundaries to provide a separation distance of 2 metres from the future driveway pavement and a bedroom window of a neighbouring dwelling;
 - (c) ensure that on-site car parking can be accommodated on the site of an existing dwelling in a manner that is consistent with other principles of development control for the zone;
 - (d) avoid the repetition of driveways immediately adjacent to each other; and
 - (e) include fencing treatment along the length of the driveway that is consistent with other principles of development control for the zone.

Complying Development

- 25** The following kinds of development are complying:
- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-Complying Development

- 26** The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:

Adult entertainment premises
 Adult products and services premises
 Amusement machine centre
 Art gallery except in Policy Areas 4 and 8
 Auditorium

Backpackers hostel except:

- (i) in Policy Areas 3, 4, 9 and 13
- (ii) on King William Road frontages in Policy Area 8

Bank except on:

- (i) on Tynte Street frontages in Policy Area 4

- (ii) on King William Road frontages in Policy Area 8
- (iii) on Melbourne Street frontages in Policy Area 11
- (i) in Policy Area 13

Car park except where ancillary to an approved or existing use
Cinema

Clinic except:

- (i) on land identified as the Calvary Hospital site on Fig HS/1
- (ii) from an existing non-residential premises in Policy Area 5 and 13
- (iii) in Policy Area 9

Community centre except:

- (i) in Policy Area 4 and 13
- (ii) east of Jeffcott Street in Policy Area 5

Conference centre except in Policy Area 13

Consulting room except:

- (i) on land identified as the Calvary Hospital site on Fig HS/1
- (ii) from an existing non-residential premises in Policy Area 5 and 13
- (iii) in Policy Area 13
- (iv) on King William Road frontages in Policy Area 8
- (v) in Policy Area 9
- (vi) on Melbourne Street frontages in Policy Area 11

Day care centre (other than a child care centre) except:

- (i) in Policy Areas 4, 7, 9 and 13
- (ii) east of Jeffcott Street in Policy Area 5
- (iii) on land identified as the Helping Hand Aged Care site on Fig HS/3

Educational establishment except:

- (i) on land identified as the St Dominic's Priory College site on Fig HS/2
- (ii) east of Jeffcott Street in Policy Area 5
- (iii) in Policy Areas 3, 4, 9 and 13
- (iv) on King William Road frontages in Policy Area 8

Emergency shelter except:

- (i) east of Jeffcott Street in Policy Area 5
- (ii) in Policy Areas 4, 7, 9 and 13

Hospital except:

- (i) on land identified as the Calvary Hospital site on Fig HS/1
- (iii) in Policy Areas 4, 9 and 13

Hotel except:

- (i) in Policy Areas 3, 4 and 9 and 13
- (ii) on King William Road frontages in Policy Area 8

Indoor recreation centre except:

- (i) on Tynte Street frontages in Policy Area 4

- (ii) in Policy Area 9 and 13

Industry

Leisure studio except:

- (i) on Tynte Street frontages in Policy Area 4
- (ii) in Policy Area 9 and 13

Licensed entertainment premises

Licensed premises except on Tynte Street frontages in Policy Area 4

Motel except:

- (i) in Policy Areas 3, 4, 9 and 13
- (ii) on King William Road frontages in Policy Area 8

Multiple dwelling except:

- (i) in Policy Areas 3, 5, 7 to 9 and 13
- (ii) on land identified as St Ann's Colleges on Figure SW/1

Museum except in Policy Areas 4, 8 and 13

Nursing home except:

- (i) on Archer Street frontages in Policy Area 4
- (ii) east of Jeffcott Street in Policy Area 5
- (iii) in Policy Areas 7, 9 and 13
- (iv) on land identified as the Helping Hand Aged Care site on Fig

HS/3

Office except:

- (i) from an existing non-residential premises in Policy Area 5
- (ii) on King William Road frontages in Policy Area 8
- (iii) in Policy Area 9 and 13
- (iv) on Melbourne Street frontages in Policy Area 11
- ~~(v) in association with existing student accommodation on land identified as:~~
 - ~~i. Lincoln College on Fig LF/1~~
 - ~~ii. Aquinas College on Fig C5/1~~
 - ~~iii. St Ann's College on Fig SW/1~~
 - ~~iv. St Mark's College on Fig C8/1~~
 - ~~v. Kathleen Lumley College on Fig FP/1~~

Passenger terminal

~~Primary school in Policy Area 1~~

Public library except in Policy Areas 4, 8 and 13

Research laboratory except:

- (i) on land identified as the Calvary Hospital site on Fig HS/1
- (ii) on Archer Street frontages in Policy Area 4
- (iii) on King William Road frontages in Policy Area 8
- (iv) in Policy Area 9 and 13

Restaurant in Policy Area 4 except on Tynte Street

Road transport terminal

Service trade premises

Serviced apartment except:

- (i) in Policy Areas 3, 4, 9 and 13
- (ii) on King William Road frontages in Policy Area 8

Shop except on:

- (i) on Tynte Street frontages in Policy Area 4
- (ii) on King William Road frontages in Policy Area 8
- (iii) on Melbourne Street frontages in Policy Area 11
- (iv) on Kermode Street frontages in Policy Area 9
- ~~(v) on Strangways Terrace frontage of land identified as Calvary Hospital on Fig HS/1~~

Theatre except in Policy Area 13

Transport depot

Warehouse

(b) Building work involving any of the following:

- (i) Total demolition of a State Heritage Place, local heritage place or portion of a local heritage place being the frontage and side wall returns which are visible from the street, where the elements of heritage value of that place are so limited.

(c) Development which exceeds any applicable maximum plot ratio (as prescribed in each Policy Area) except in Policy Area 10.

(d) Development which exceeds both the building levels and maximum building height prescribed as follows:

- (i) In Policy Area 1, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the Calvary Hospital site on Fig HS/1, development which exceeds both 5 building levels and locates a ceiling more than 15 metres above the median natural or finished ground level at any point or any part of a building.
 - b. On land identified as the St Dominic's Priory College site on Fig HS/2, development which exceeds both 3 building levels and locates a ceiling more than 9 metres above the median natural or finished ground level at any point or part of a building.
 - c. On land identified as the Helping Hand Aged Care site on Fig HS/3, development which exceeds both 4 building levels and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building.
- (ii) In Policy Areas 2, 3 and 4, development which exceeds both two 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building
- (iii) In Policy Area 5, development which exceeds both two 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the Aquinas College site on Fig C5/1, development which exceeds both 3 building levels and locates a ceiling more than 9 metres above the median natural or finished ground level at any point or any

part of a building.

- (iv) In Policy Area 6, development which exceeds both ~~two~~ 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- (v) In Policy Area 7, development which exceeds both ~~two~~ 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except listed below:
 - a. On land identified as the Lincoln College site on Fig LF/1, development which exceeds both 6 building levels and locates a ceiling more than 18 metres above the median natural or finished ground level at any point or any part of a building.
- (vi) In Policy Area 8, development which exceeds both ~~two~~ 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the St Marks College site on Fig C8/1, development which exceeds both 4 building levels and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building
- (vii) In Policy Area 9,:
 - a. North of Kermode Street on Fig WC/1, development which exceeds both 6 building levels and locates a ceiling more than 21 metres above the median natural or finished ground level at any point or any part of a building .
 - b. South of Kermode Street on Fig WC/1, development which exceeds both 6 building levels and locates a ceiling more than 18 metres above the median natural or finished ground level at any point or any part of a building .
- (viii) In Policy Area 10, development which exceeds both ~~two~~ 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the St Ann's College site on Fig SW/1, development which exceeds both 4 building levels ~~storey's~~ and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building;
 - b. On land fronting Development along Old Street (west of New Street) development which exceeds both 2 ~~two~~ building levels above one level of undercroft parking and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building;
 - c. On land fronting Development along Jerningham Street, development which exceeds both ~~one~~ building level and locates a ceiling more than 3 metres above the median natural or finished ground level at any point or any part of a building.
- (ix) In Policy Area 11, development which exceeds both 2 ~~two~~ building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- (x) In Policy Area 12, development which exceeds both 2 ~~two~~ building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:

- a. On land identified as the Kathleen Lumley College site on Fig F/1, development which exceeds both 4 building levels and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building;
- (xi) In Policy Area 13, development which exceeds both six 6 building levels and locates a ceiling more than 18 metres above the median natural or finished ground level at any point or any part of a building.
- b. Advertisements involving any of the following:
 - Animation
 - Third party advertising
 - Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

27 For the purposes of public notification in accordance with the procedures and rights established by the Development Act, 1993, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:
 - (i) Advertisements (except those classified as non-complying);
 - (ii) development which, in the opinion of the relevant planning authority, is of a minor nature only and is unlikely to be the subject of reasonable objection from the owners or occupiers of land in the locality of the site of the development.
- (b) **Category 2**, public notification required, third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:
 - (i) all development, other than development classified as non-complying or which falls within Part (a) of this provision.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant planning authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

Hill Street Policy Area 1

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/37, 38, 42 and 43](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Hill Street Policy Area should remain one of the lowest density residential areas in Upper North Adelaide and should be protected and enhanced as one of the most historically intact residential areas in South Australia.

The variety of dwelling types should be retained by the conservation of Heritage Places characterised by nineteenth and early twentieth century elegant and finely detailed mansions and other large villas set on large allotments, together with low and medium density cottages, villas and terrace houses of one and two storeys.

Helping Hand Aged Care will be a valuable multi-functional aged care facility providing a variety of levels of care and accommodation for the elderly community. St Dominic's Priory College will continue to be associated with educational land uses. Calvary Hospital will provide hospital uses such as patient care, research, consulting rooms, visitor accommodation and ancillary services. Development of these long established institutions should meet the community needs and future requirements by adapting to demographic change, technological advances and legislative requirements whilst reinforcing the heritage values and amenity of the Policy Area.

Development should respect the scale, environmental quality and character of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Mills Terrace and Strangways Terrace (west of Hill Street):
New residential buildings addressing the primary street frontage should comprise detached dwellings, group dwellings or residential flat buildings of one or two storeys that contribute to the imposing townscape character of these Park Lands frontages established by various styles of detached dwellings of identified heritage value. Built form character will be reinforced through new development incorporating articulation, bay windows, hip or hip-gable roof profiles, verandahs, balconies and porches, and set within landscaped grounds.
- (b) Gibbon Lane:
There should be little change in the townscape character established by primarily attached and detached two storey dwellings and a single storey detached dwelling of local heritage value. Future residential buildings addressing the primary street frontage should be detached dwellings. Roofs should be pitched or incorporated behind parapets and the design and composition of facades should reflect traditional proportions of Heritage Places in the locality.
- (c) Hill Street:
This attractive townscape is formed by the many one storey local heritage places and several two storey State Heritage Places comprising large detached and semi-detached dwellings, as well as other prominent corner sites containing St. Lawrence's Church and Calvary Hospital. New residential buildings should be detached or semi-detached dwellings with a frontage to and access from the street. The siting of buildings should continue the

regular building set-back from the primary street frontage and the established regular pattern of siting of Heritage Places on individual allotments relevant to the particular section of the street.

(d) Buxton Street:

The townscape character is established by several highly cohesive frontages of single storey detached dwellings of local heritage value and other one and two storey State heritage places, including examples of finely detailed Italianate villas with intact stone and cast-iron fencing.

A traditional corner shop which abuts the north-western corner of Buxton Street and Jeffcott Street frontages is an exception to the prevailing building set-back but complements the scale and character of the adjoining group of detached cottages on the northern frontage of Buxton Street.

~~The siting of new development at the Helping Hand Aged Care should complement the setback of Heritage Places buildings and avoid repetitious and unbroken frontages. New development should incorporate a high standard of design, materials and finishes compatible with adjacent historic residential development.~~

Additional residential accommodation should be located on under-utilised land to the side or behind existing buildings provided the value of Heritage Places is not compromised.

New residential buildings with frontage to the street should comprise single storey detached or group dwellings.

(e) Molesworth Street:

The residential townscape east of Hill Street is almost exclusively Heritage Places comprising semi-detached dwellings of similar architectural design on the southern side, and detached Victorian Italianate houses and other detached dwellings of local heritage value on the northern side.

In other parts of the street development opportunities for additional residential accommodation should be limited to under-utilised land behind or adjacent existing buildings where the value of Heritage Places is not compromised.

All dwelling types should be considered within established institutional sites. Development adjacent the primary street frontage will reinstate or reinforce the building set-back and subdivision pattern established by Heritage Places.

~~The Church of Perpetual Adoration makes a valuable contribution to the historic character of the area. Development of St Dominic's Priory College should maintain the visual prominence of the Church of Perpetual Adoration by retaining views and vistas with suitable building setbacks from the side and street frontages of the Church.~~

(f) Barnard Street:

The residential townscape east of Hill Street is almost exclusively Heritage Places and will remain intact through the conservation of Heritage Places characterised by detached and semi-detached dwellings.

New buildings should complement and, where necessary, reinstate the generally consistent building set-back established by one and two storey Heritage Places.

~~The Calvary Hospital Chapel forms an important part of the character of Barnard Street the area. New Development should maintain the heritage value historic character and prominence of the Chapel by retaining important views and vistas to the facades of the Chapel.~~

(g) Jeffcott Street:

The diversity of traditional dwelling types and the generally consistent character of large dwellings should be conserved through the retention of Heritage Places. Buildings that are not identified Heritage Places may be replaced with new buildings that should not necessarily repeat distinctive historic elements (such as bay windows). Such replacement development should be large, single storey detached dwellings adjacent the primary street frontage, and should reinstate the prevailing building set-back established by Heritage Places relevant to the particular locality, which on corner sites may comprise buildings set on or close to the primary street frontage.

(h) Childers Street:

The historic townscape is established by primarily large, low density, single storey local heritage places comprising detached dwellings. Buildings that are not identified Heritage Places should be replaced by development that has the appearance of single storey detached dwellings adjacent the primary street frontage. Development should reinstate the prevailing building set-back established by Heritage Places relevant to the particular locality.

(i) Barton Terrace West:

The diversity of dwelling types and building set-backs has eroded the former heritage townscape. Development that replaces buildings that are not identified Heritage Places should comprise detached, semi-detached and group dwellings or residential flat buildings that reinstate the building set-back and orientation of the main face of dwellings to the Park Lands established by the remaining Heritage Places.

(j) Ward Street and Strangways Terrace (east of Hill Street)

The Calvary Hospital is a prominent corner site that contributes to the character of the area. The visual prominence of Calvary Hospital should be retained. New development should maintain the orientation and frontage of the hospital to Strangways Terrace, and should incorporate a high standard of design, material and finishes compatible with adjacent historic residential development. Car parking and access areas should be consolidated and landscaping established.

East of Calvary Hospital, the existing townscape along Ward Street is characterised by a number of single storey detached residences of consistent architectural style, form and siting.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Policy Area for residential purposes at low density with landscaped setbacks to retain and reinforce the traditional character.
- Objective 3:** Development of the Policy Area that maintains residential amenity by limiting non-residential development to institutional uses within existing sites.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land

identified as the Calvary Hospital site on Fig HS/1, the St Dominic's Priory College site on Fig HS/2 and the Helping Hand Aged Care site on Fig HS/3).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

4 The bulk and density of development should satisfy the following:

- (a) Basic and maximum plot ratio: 0.6 (except for land identified as the Calvary Hospital site on Fig HS/1, the St Dominic's Priory College site on Fig HS/2 and the Helping Hand Aged Care site on Fig HS/3 where no plot ratio applies).
- (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:

- (a) on land greater than 2000 square metres; or
- (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
- (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.

6 The land for a dwelling should have a primary street frontage to a public road not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):

- (a) Detached dwelling: 14 metres;
- (b) Semi-detached dwelling: 12 metres;
- (c) Group dwelling or residential flat building: 18 metres.

7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

Non-residential Development

- 8 Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.

~~9 Development of Calvary Hospital should:~~

- ~~(a) be within the existing site boundaries;~~
- ~~(b) incorporate high standards of design, materials and finishes compatible with adjacent one and two storey historic residential development;~~
- ~~(c) maintain the frontage and orientation of the hospital to Strangways Terrace;~~
- ~~(d) avoid overshadowing of residential areas by hospital buildings through appropriate building set backs from residential property boundaries and lower building heights at the residential interface;~~
- ~~(e) avoid repetitious and unbroken frontages, particularly for Hill Street and Barnard Street;~~
- ~~(f) retain the existing pedestrian access off Barnard Street to the chapel; and~~
- ~~(g) not provide for vehicular access to the north of the approved Hill Street access point, nor from Barnard Street, except for existing access points to St Joseph and Kimberley House.~~

- 10 Uses within the Calvary Hospital site may include ancillary hospital activities such as research activities, patient care, consulting, and visitor accommodation.

~~11 Development of St Dominic's should:~~

- ~~(a) be within the existing site boundaries;~~
- ~~(b) promote the continued use of land for educational activities and may include student accommodation;~~
- ~~(c) incorporate high standards of design, materials and finishes compatible with adjacent one and two storey historic residential development; and~~
- ~~(d) along the Barnard Street frontage (northern side), not be forward of the consistent building set back of Heritage Places.~~

~~12 Development of Helping Hand Aged Care Incorporated should:~~

- ~~(a) be within the existing site boundaries;~~
- ~~(b) promote the continued use of land for aged care and associated accommodation to meet changing needs and take advantage of medical advancements and care methods;~~
- ~~(c) incorporate high standards of design, materials and finishes compatible with adjacent one and two storey historic residential development; and~~
- ~~(d) where located along street frontages, complement the set back of historic residential buildings relevant to the particular street and avoid repetitious and unbroken frontages.~~

9. Development of Calvary Hospital should:

- (a) be in accordance with Concept Plan Fig HS/1; ~~and should:~~
- ~~(b) be associated with hospital use or associated hospital uses such as research activities, patient care, consulting rooms, visitor accommodation, shop, café and pharmacy. Small shops are appropriate along Strangways Terrace to activate the streetscape;~~
- (b) ensure new buildings and additions up to a maximum of 5 building levels or 15 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be sited and located in central areas of the site and in areas identified as Taller Built Form;
 - (ii) ensure buildings up to 4 building levels are located along Hill Street and in areas identified as Taller Built Form;
 - (iii) ensure buildings up to 3 building levels in areas identified as Low Scale Built Form;
 - (iv) be compatible with State and Local Heritage Places;
 - ~~retain the visual prominence of the State and Local Heritage Places by retaining views and vistas along Barnard Street and Strangways Terrace;~~
 - ~~ensure new buildings or additions are not built in the area marked "sensitive heritage and character context";~~
- (v) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places;
- (vi) minimise building mass at the interface from an adjoining boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods;
- (vii) comprise of a building form which is modulated and articulated; and
- (viii) incorporate the use of landscaped open space to break up building mass;
- (c) consolidate and locate access points to minimise the impact on residential amenity from parking, loading and access;
- (d) ~~locate additional onsite car parking is located at basement level to ensure efficient use of land and minimise visual impact; and~~
- (e) ensure signage is discrete and limits the visual impact on residential amenity and character.

10. Development of St Dominic's Priory College should:

- (a) be in accordance with Concept Plan Fig HS/2; ~~and should:~~
- (b) ensure new buildings up to a maximum of 3 building levels and 9 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - ~~(i) retain the visual prominence of the State and Local Heritage Places, by retaining views and vistas along Molesworth Street;~~
 - (i) be located in areas identified as Taller Built Form;

- ~~(ii) ensure new buildings or additions are not built in the area marked "sensitive heritage and character context";~~
- (ii) ~~ensure buildings do not exceed~~ locate Low Scale Built Form up to 2 building levels/6 metres in height along the Barnard Street, Hill Street, Molesworth Street and Priory Lane frontages;
- (iii) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places;
- (iv) minimise building mass at the interface from an adjoining boundary by ~~by locating Taller elements~~ siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods; ~~and~~
- (v) comprise a building form which is modulated and articulated; and
- (vi) incorporate the use of landscaped open space to break up building mass;
- (c) minimise the impact of vehicular access and student pick up and drop off on residential amenity; and
- (d) ensure signage is discrete and limits the visual impact on amenity and character.

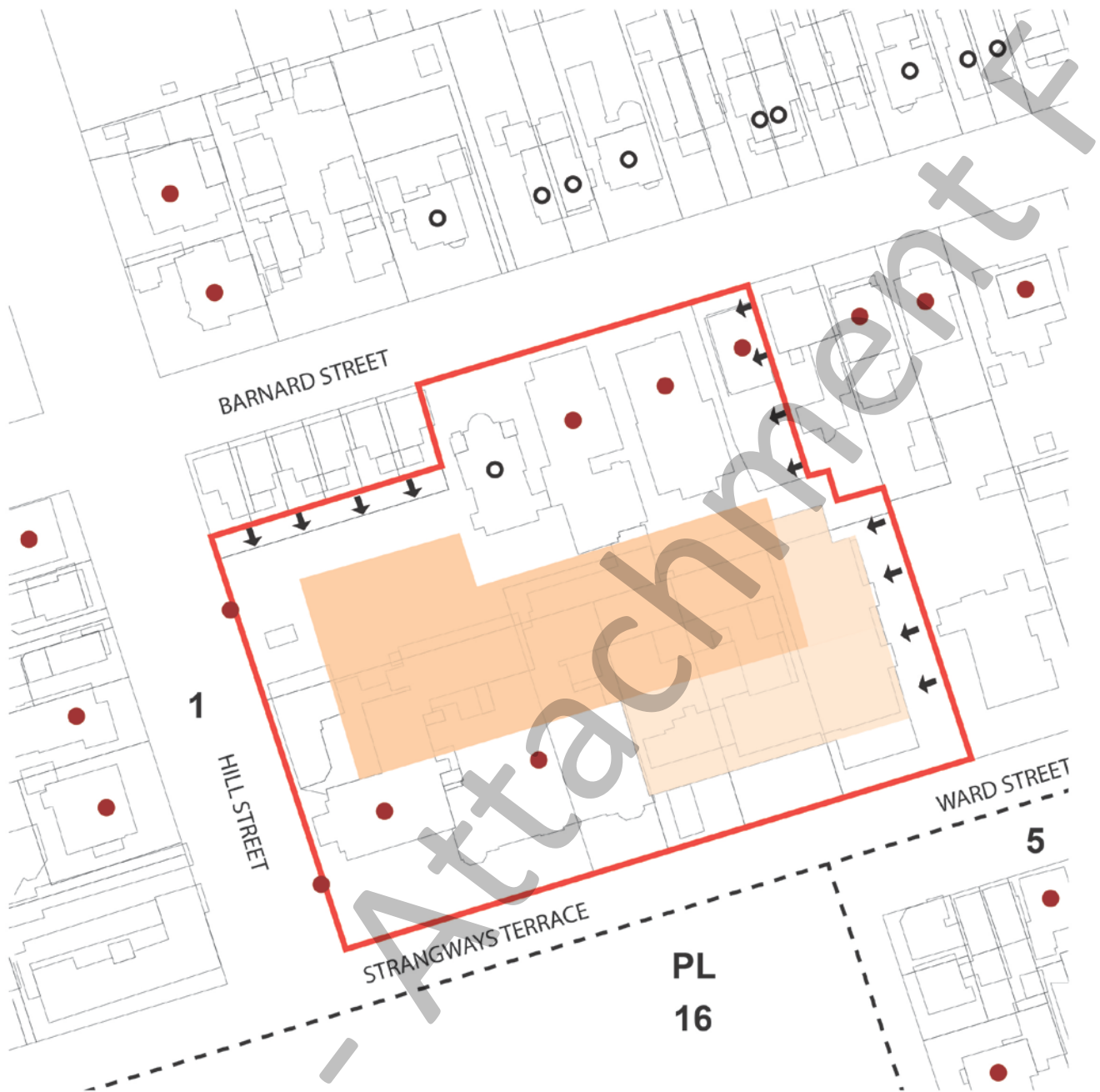
11. Development of Helping Hand Aged Care should:

- (a) be in accordance with the Concept Plan Fig HS/3 ~~and should:~~
- (b) ~~be associated with a multi-functional aged care facility with variety of levels of care and housing models to provide suitable accommodation for the elderly community;~~
- (c) ensure new buildings up to a maximum of 4 building levels or 12 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) ~~ensure new buildings or additions are not built in the area marked "sensitive heritage and character context";~~
 - (ii) locate Low Scale Built Form between 1-2 building levels along the Molesworth Street, Buxton Street and Childers Street;
 - (iii) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places;
 - (iv) minimise building mass at the interface from an adjoining boundary by ~~by locating Taller elements~~ siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods; ~~and~~
 - (v) comprise a building form which is modulated and articulated; and
 - (vi) incorporate the use of landscaped open space to break up building mass;
- (d) consolidate and locate access points to minimise the impact on residential amenity from parking, loading and access;

- (e) improve the pedestrian environment and access particularly across Buxton Street; and
- (f) locate additional onsite car parking ~~is located~~ at basement level to ensure efficient use of land and minimise visual impact; and
- (g) ensure signage is discrete and limits the visual impact on residential amenity and character.

Advertising

- 12 The maximum size of advertisements should be 0.2 square metres.
- 13 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.
- 14 Advertisements which project from the wall of a building are inappropriate.



- 1 Hill Street Policy Area
- 5 Carclew Policy Area
- 16 Golf Links Policy Area

- Calvary Hospital Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 5 building levels
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY)
CALVARY HOSPITAL
CONCEPT PLAN
Fig HS/1

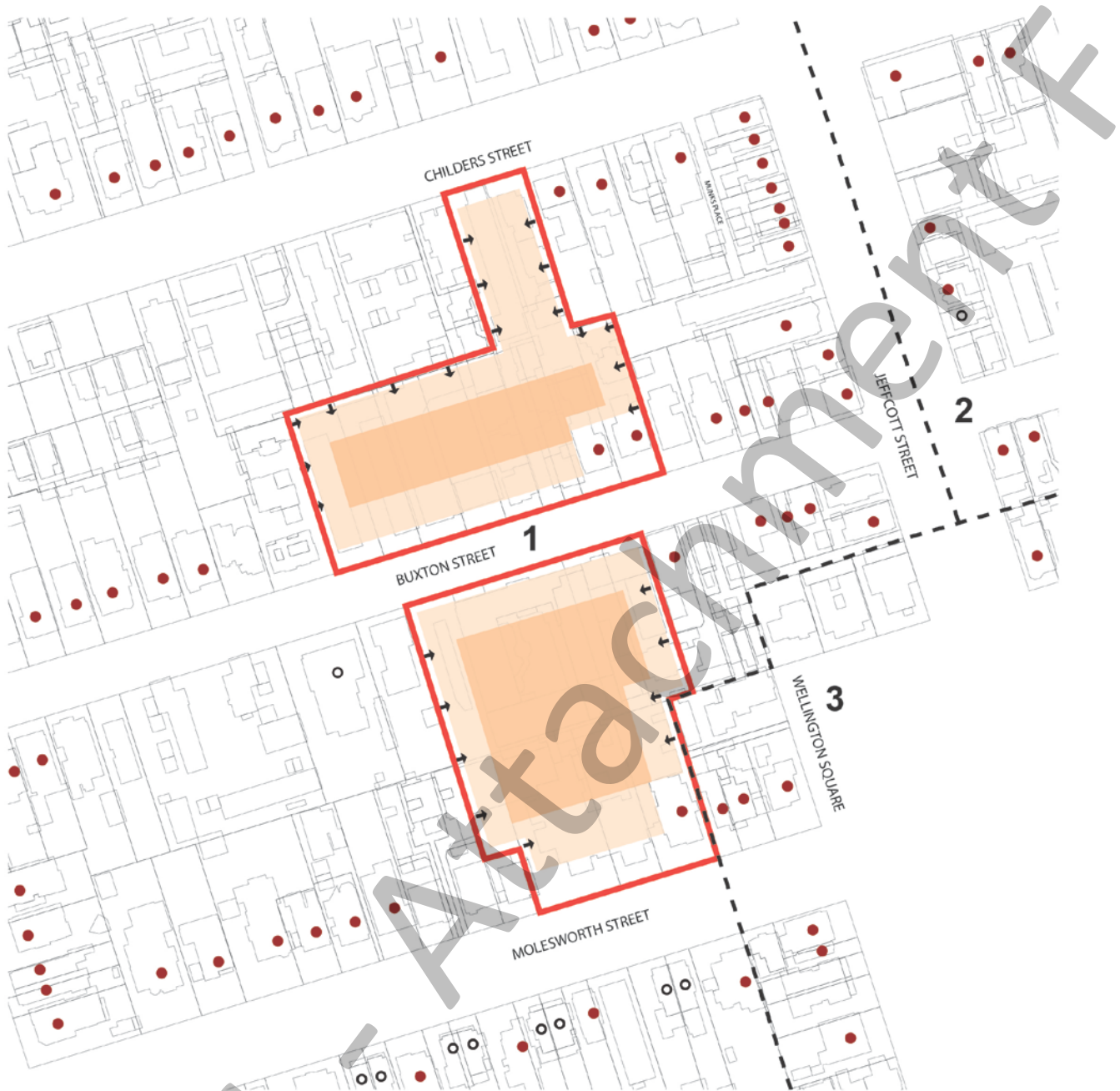
Version D 14/06/16



- 1 Hill Street Policy Area
- 16 Golf Links Policy Area
- St Dominic's Priory College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 3 building levels
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary



ADELAIDE (CITY)
ST DOMINIC'S PRIORY COLLEGE
CONCEPT PLAN
Fig HS/2



- 1 Hill Street Policy Area
- 2 Childers East Policy Area
- 3 Wellington Square Policy Area

- Helping Hand Aged Care Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY)
HELPING HAND AGED CARE
CONCEPT PLAN
Fig HS/3

Version D 24/05/16

Childers East Policy Area 2

Wellington Square Policy Area 3

Tynte Policy Area 4

(DPA proposes no changes)

Carclew Policy Area 5

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/38, 39 and 43](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Carclew Policy Area should be conserved as one of the most attractive and historically significant residential areas in the City. The Policy Area is characterised by intact and generally cohesive townscapes of nineteenth and twentieth century detached houses set in landscaped grounds and imposing two-storey terrace houses.

Aquinas College will provide student accommodation, educational activities and associated support services. Development should meet the community needs and future requirements by adapting to demographic changes, technological advances and legislative requirements whilst reinforcing the heritage values of the Policy Area.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storey's, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Montefiore Hill, Palmer Place and Brougham Place:

There should be little change to the unique historic townscapes derived from the setting of large mansions set in landscaped grounds. Heritage Places exhibit variations in architectural style but are generally articulated and modelled, and constructed of stone and brick with intricate detailing and ornamentation. Typical fencing defining property frontages is constructed of brick, stone or stone and cast-iron boundary walls and new fencing should unify the townscape through the use of traditional materials.

Development along these frontages should be subordinate to the prevailing and traditional built form and should be generously proportioned one or two storey detached or semi-detached dwellings or residential flat buildings set in landscaped grounds. However, infill development opportunities should be limited due to the need to conserve an appropriate landscape setting to Heritage Places.

Development of ancillary buildings associated with existing uses should be set back from the road frontage in order to be subordinate to Heritage Places. Development of similar height and building levels may be appropriate provided it does not detract from the heritage value of a place or adversely affect the high quality streetscapes and settings.

New development at Aquinas College should retain the prominence of the State Heritage Places by retaining the views and vistas of those places from Palmer Place and Montefiore Hill frontages. New development should incorporate a high standard of design,

~~materials and finishes compatible with the adjacent heritage places.~~

(b) Strangways Terrace:

The imposing townscape character is established by the large detached Victorian villas situated on the western part of the Terrace. With the exception of the conflict in scale and character created by 1960s flat development, a cohesion is derived from the pattern of detached houses, the consistency of masonry facades, vertically proportioned windows, pitched roofs, verandahs and porches.

Development within this townscape should reinforce the traditional character of detached and semi-detached dwellings set on large allotments and may accommodate more contemporary residential styles towards the southern part of Strangways Terrace.

Infill development opportunities should be very limited due to the need to conserve an appropriate landscape setting to Heritage Places.

(c) Jeffcott Street:

North of Ward Street the residential character is derived from the low scale and close grouping of small cottages and row dwellings sited close to the street frontage. South of Ward Street, the townscape character is derived from detached residences, institutional buildings and a large contemporary apartment building. Unifying elements include articulated masonry facades, gable frontages, pitched roofs, verandahs and cast iron decoration.

Development should be low density residential development in the form of detached and semi-detached dwellings with new buildings primarily limited to the replacement of non-contributory buildings of a height and form established by Heritage Places. Development should reinstate the character of residential buildings close to the street frontage where it is compatible with adjacent Heritage Places.

Redevelopment of the squash courts on Jeffcott Street, incorporating ~~detached or semi-detached~~ residential buildings of sympathetic design, proportions and building set-backs to adjacent Heritage Places is desired. Boundary fencing to Jeffcott Street is desirable and should utilise traditional materials.

(d) Ward Street (east of Jeffcott Street):

Development on Ward Street should be domestic in scale and should contribute to the creation of a cohesive townscape, comprising primarily detached and semi-detached dwellings and residential flat buildings that respect and interpret existing nineteenth century building forms in a sensitive, contemporary manner.

(e) Ward Street (west of Jeffcott Street):

The existing townscape along Ward Street is characterised by single-storey detached residences of consistent architectural style, form and siting. Development opportunities on the northern side should generally be limited to the replacement of buildings are not identified Heritage Places, in which case the building set-back established by Heritage Places addressing the street frontage should be reinstated.

On the southern frontage a more intimate development pattern should be maintained, derived from the close grouping of smaller detached cottages of local heritage value located on or near the street. The prominence of the early limestone walls and outbuildings should be maintained. New residential development should reinforce the plain or articulated gabled frontages with a high proportion of solid to void in the composition of facades of these existing dwellings.

(f) in minor streets:

Development should be primarily single storey.

Development should retain vistas to major landmark buildings, particularly in the vicinity of Bishops' Court, where a distinctive silhouette is created by the juxtaposition of steeply pitched roof profiles,

gables and tall narrow chimneys, and on Montefiore Hill by the distinctive roof forms of the prominent mansion, Carclew.

Ward Street, east of Jeffcott Street, should continue to develop as a mixed use residential, office and consulting room area.

The Policy Area should maintain a safe, pleasant and attractive pedestrian environment, with complementary landscaping in public places to complement the character of Palmer Gardens and the Park Lands below Montefiore Hill south of the Policy Area.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Carclew Policy Area for residential purposes at low densities that contributes positively to the diverse character of one of Adelaide's most historically significant residential areas located adjacent the Park Lands.
- Objective 3:** Non-residential development comprising institutional and community uses compatible with residential amenity.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land identified as Aquinas College on Fig C5/1).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

- 4 The bulk and density should satisfy the following:
 - (a) Basic and maximum plot ratio:
 - (i) 0:8 – Sites with a boundary with Palmer Place, Brougham Place, Montefiore Hill, Strangways Terrace;
 - (ii) 1.0 – elsewhere (except for land identified as the Aquinas College site on Fig C5/1, where no plot ratio applies).
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres – detached dwelling and group dwelling;
 - (ii) 450 square metres – semi-detached dwelling;
 - (iii) 500 square metres – residential flat building not contained within an existing building;
 - (iv) 250 square metres – residential flat building contained within an existing building;

- (v) 350 square metres – residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
 - (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.
- 8 Development on the Palmer Place frontage should maintain the prominence of the Heritage Places and the visual integrity of the street.
- 9 Residential buildings addressing the street frontage should be generously proportioned detached or semi-detached dwellings or residential flat buildings up to two storey's set in landscaped grounds.
- 10 Development of ancillary buildings associated with existing residential uses should be well set back from the principal road frontage.
- 11 Institutional and community uses compatible with residential amenity should only be developed in Ward Street, east of Jeffcott Street.
- ~~12 Development of Aquinas College within its existing site boundaries should be limited to uses associated with educational activities and student accommodation. Further development of student accommodation within the site resulting from additional floor space should not result in a net increase in student numbers and should only be developed if there is a net increase in the number of car parking spaces available for students.~~
- ~~13 Development of the Lutheran Seminary should only occur within its existing site boundaries.~~

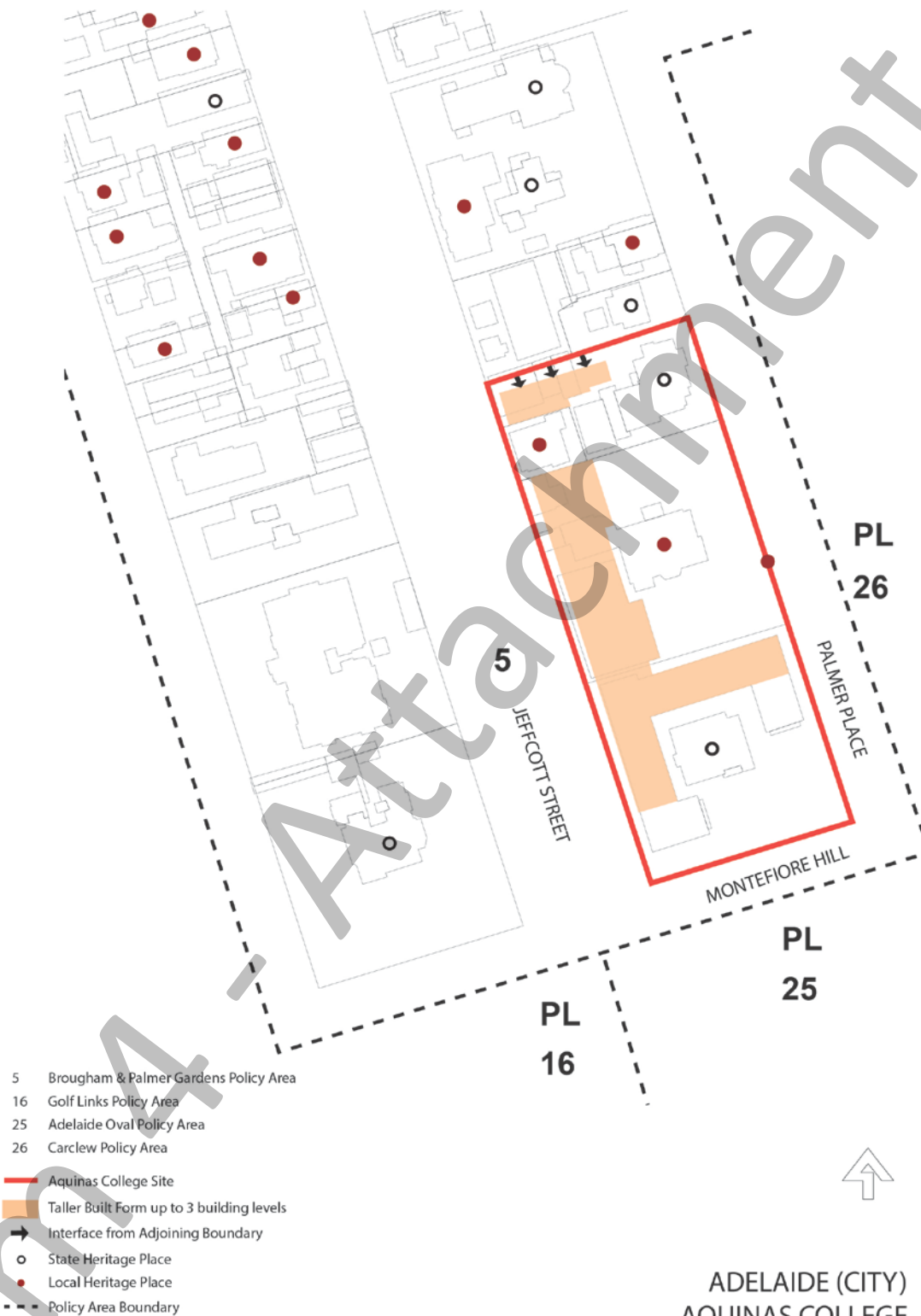
- ~~14 Preservation of the visual prominence and landscape setting of the Seminary buildings is required including the central clock tower spire and cast iron and stone walling along the Jeffcott and Ward Street frontages.~~

12 Development of Aquinas College should:

- (a) be in accordance with the Concept Plan as Fig C5/1; ~~and should:~~
 - ~~(a) be associated with student accommodation and educational uses;~~
 - (b) ensure new buildings up to a maximum of 3 building levels or 9 metres above the median natural or finished ground level at any point or any part of a building are located and designed to:
 - ~~(i) retain the visual prominence of the State Heritage Places by retaining views and vistas of the facades from Palmer Place and Montefiore Hill;~~
 - ~~(ii) new buildings or additions are not built in the area marked "sensitive heritage and character context";~~
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) provide compatible setbacks with adjoining residential allotments and State and Local Heritage Places;
 - (iii) minimise building mass at the interface from an adjoining boundary by by Taller elements siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing through alternative design methods; and
 - (iv) comprise a building form which is modulated and articulated; and
 - (v) incorporate the use of landscaped open space to break up building mass;
 - (c) consolidate and locate access points to minimise the impact on residential amenity from parking, loading and access; and
 - (d) locate additional onsite car parking is located at basement level to ensure efficient use of land and minimise visual impact.

Advertising

- 13 The maximum size of advertisements should be 0.2 square metres and advertising displays should be limited to one advertising display per premises.
- 14 Illumination of advertisements will only be considered where it is discreet and does not affect the amenity of residential premises.
- 15 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.



ADELAIDE (CITY)
 AQUINAS COLLEGE
 CONCEPT PLAN
 Fig C5/1

Version C 15/02/16

Margaret Street Policy Area 6

(DPA proposes no changes)

Lefevre Policy Area 7

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Lefevre Policy Area should maintain a prime residential frontage overlooking the Park Lands comprising large low density residential buildings designed in a grand manner and set in generous landscaped grounds.

The variety of dwelling types should be retained by the conservation of Heritage Places.

Lincoln College will provide student accommodation and educational activities. Development should meet the community needs and future requirements by adapting to demographic changes, technological advances and legislative requirements whilst reinforcing the heritage value of the Policy Area.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storey's, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Lefevre Terrace:

The cohesive townscape character of Lefevre Terrace is established by the grand style and setting of nineteenth century terrace houses and Italianate villas, groupings of smaller early twentieth century villas and bungalows.

The terraces and Italianate villas exhibit a high degree of facade articulation and modelling, with richly detailed masonry and cast iron ornamentation. Associated stone and cast-iron boundary walling reinforces the built form qualities of these residences. In contrast, the architectural character and detailing of the adjacent twentieth century villas and bungalows is more restrained.

Development should comprise large detached and semi-detached dwellings or residential flat buildings set in generous landscaped grounds.

(b) Brougham Place:

The historical significance of Brougham Place requires that new development along these frontages should be subordinate to the prevailing character of the historic built form.

New buildings on the Brougham Place frontage are not desired other than where it should replace non-contributory buildings. Row or terrace housing is inappropriate. New development should comprise large detached and semi-detached dwellings or residential flat buildings that should complement the existing historic houses set in landscaped grounds.

New development at Lincoln College should retain the visual prominence of the State

Heritage Places by retaining the views and vistas of the former houses from Brougham Place and the Park Lands.

(c) Barton Terrace East:

Along the Barton Terrace East frontage the townscape comprises late nineteenth and early twentieth century residences. The detached and semi-detached cottages and villas are typically constructed of stone and brick and are generally single storey.

The siting of new buildings should complement the regular pattern of detached dwellings fronting existing public roads with a building set-back complementing existing Heritage Places.

Development should maintain the present scale, heights, setbacks and low density character of the street.

(d) Ward Street

Ward Street comprises of historic single storey cottages and a mix of dwellings of varied architectural form and height. Ward Street is characterised by a mix of historic and residential buildings.

Ward Street will be improved by the redevelopment of buildings which are incompatible with the historic streetscape. New development will be orientated to the street, enhance the pedestrian environment and provide a compatible and enhanced streetscape.

The Policy Area should maintain safe and attractive conditions for pedestrians and convenient access to the adjacent Park Lands with pedestrian shelter and amenity provided by trees and a high standard of paving and other landscaping.

Landscaping in public places along Lefevre Terrace, Barton Terrace East and Brougham Place should provide a transition between the Policy Area's built form and the informal planting of the Park Lands.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Lefevre Policy Area for residential purposes at low densities that conserves and enhances the established character of historically significant buildings overlooking the Park Lands.
- Objective 3:** Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except on land identified as the Lincoln College site on Fig LF/1).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

4 The bulk and density of development should satisfy the following:

- (a) Basic and maximum plot ratio: 0.8 (except for ~~on~~ land identified as the Lincoln College site on Fig LF/1 where no plot ratio applies); and
- (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:

- (a) on land greater than 2000 square metres; or
- (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
- (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.

6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):

- (a) Detached dwelling: 14 metres;
- (b) Semi-detached dwelling: 12 metres;
- (c) Group dwelling or residential flat building: 18 metres.

7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

8 Further development of Lincoln College should be within existing site boundaries and associated with educational uses or student accommodation. New development should have regard to the following:

- ~~(a) any additional floor space developed within the site should not result in a net increase in student numbers;~~
- ~~(b) additional floorspace should only be developed if there is a net increase in the number of on-site car parking spaces available for students;~~
- ~~(c) new development should aim to improve the streetscape quality of buildings within the Lincoln College site fronting Ward Street; and~~
- ~~(d) new development should improve on-site landscaping and visual amenity as viewed from public roads and public spaces.~~

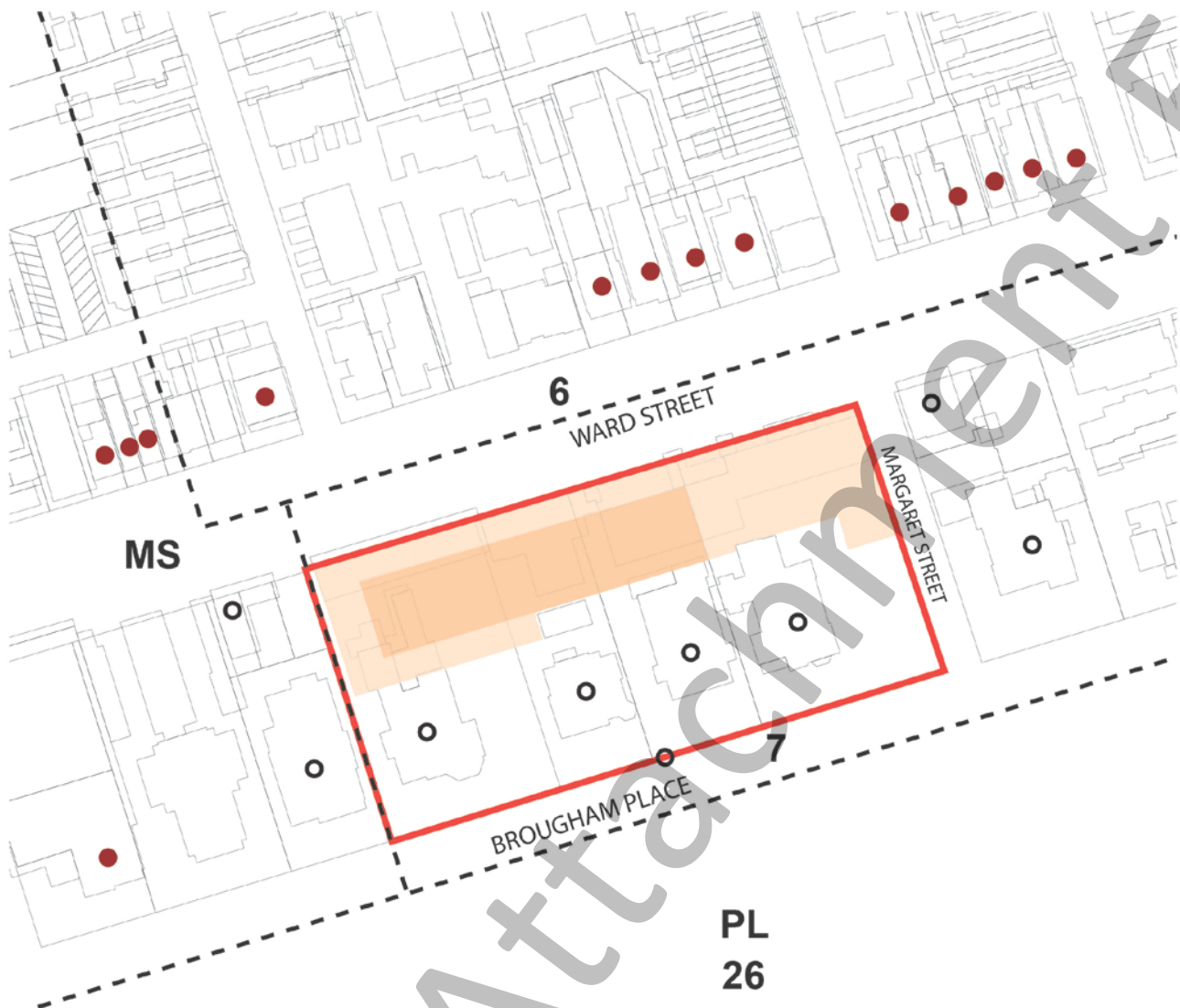
8 Development of Lincoln College should:

- (a) be in accordance with the Concept Plan as indicated on Fig LF/1;
- ~~(b) be associated with student accommodation and educational uses~~
- (b) ensure new buildings or additions up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as Taller Built Form;
 - (ii) achieve an orderly transition in scale from the adjoining Main Street (O'Connell) Zone to the historic low scale built form;
 - (iii) locate Low Scale Built Form up to 3 building levels along Ward Street and Margaret Street;
 - (iv) enhance the streetscapes with high quality visually interesting building frontages with a high level of fenestration, detailing and clear orientation to the streetscape;
 - ~~i. retain the visual prominence of the State Heritage Places from Brougham Place and the Park Lands;~~
 - ~~ii. ensure new buildings or additions are not built in the area marked "sensitive heritage and character context";~~
 - (v) comprise building forms which are modulated and articulated;
 - (vi) comprise a number of separate buildings along the Ward Street frontage to avoid long sections of unbroken buildings; and
 - (vii) incorporate the use of landscaped open space to break up building mass;
 - ~~avoid long sections of unbroken buildings and unarticulated facades and incorporate the use of landscaped open space to break up building mass including to Brougham Place and to Ward Street;~~
- (c) ~~provide~~ improve passive surveillance of walk ways both internally and external to the College; and
- (d) locate additional onsite car parking is located at basement level to ensure efficient use of land and minimise visual impact.

Advertising

- 9** The maximum size of advertisements should be 0.2 square metres and should be limited to one advertisement per premises.
- 10** Illumination of advertisements will be considered only where it is discreet and does not adversely affect residential amenity.

- 11 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate
- 12 Advertisements which project from the wall of a building are inappropriate.



- 6 Margaret Street Policy Area
- 7 Lefevre Street Policy Area
- MS Main Street (O'Connell) Zone
- 26 Brougham & Palmer Gardens Policy Area

- Lincoln College Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary



ADELAIDE (CITY)
LINCOLN COLLEGE
CONCEPT PLAN
Fig LF/1

Version D 24/05/16

Cathedral Policy Area 8

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/39 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Cathedral Policy Area should be maintained as a predominantly residential area and its unique character which is established by its distinctive topography, diverse range of nineteenth century architecture and its extensive Park Lands frontages, should be conserved.

The variety of dwelling types should be retained by the conservation of Heritage Places. Cohesive lines of buildings set behind attractive landscaping should be maintained to visually define the perimeter of the Policy Area.

St Mark's College will provide student accommodation and educational activities. Development should meet the community needs and future requirements by adapting to demographic changes, technological advances and legislative requirements whilst reinforcing the heritage value of the Policy Area.

The character of new residential development should be established by low and medium density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Brougham Place, Palmer Place:
The Brougham Place and Palmer Place frontages should retain a low scale, late nineteenth century detached housing character in contrast to the larger mansion buildings along the northern (opposite) edge of Brougham and Palmer Places in Upper North Adelaide.
- (b) Brougham Court:
Development along Brougham Court should complement the existing townscape, characterised almost exclusively by closely sited semi-detached and detached local heritage places, with consistent set-backs. The strong built form definition at the junction of Brougham Place and Brougham Court should be maintained to enclose Brougham Court.
- (c) Kermode Street:
The prevailing character west of Bagot Street is characterised by late nineteenth century detached residences on individual allotments, although there are examples of semi-detached buildings of local heritage value in the historic streetscape. The appearance of development as viewed from the primary street frontage should take the form of single storey detached or semi-detached buildings or residential flat buildings.

East of Bagot Street unsympathetic development has disrupted the traditional residential character of the townscape. On the northern side, development involving the replacement of buildings that are not identified Heritage Places should respectfully interpret the traditional residential forms and subdivision pattern of individual one or two storey dwellings addressing the public road.

To the south of Kermode Street, development at St Mark's College should retain the visual

prominence of St Peter's Anglican Cathedral when viewed from the surrounding locality. Development at St Mark's College should also retain the visual prominence of the State Heritage Places and should conserve the open landscaped setting and curtilage to from Pennington Terrace. Development should maintain the existing pattern of development characterised by freestanding buildings within landscaped grounds.

- (d) Pennington Terrace:
There should be little change in this townscape which mostly consists of State heritage places (including those forming part of St Mark's College) with considerable siting, set-back, scale and character variation.
- (e) Lakeman Street:
The intimate character and enclosure of this narrow street is derived from the small cottages and other single storey dwellings sited on the street frontage. The side boundary walling of larger residences with frontages to Pennington Terrace and Kermode Street should also remain a dominant feature. Development should maintain the low scale character of the townscape. Two-storey development should be set back so they are not readily visible from the street.
- (f) King William Road;
St Peter's Cathedral and the grand, spacious character of the townscape and its environs should be conserved. No new buildings should be developed on this site.

Redevelopment of the shops at the corner of Kermode Street would restore continuity and architectural cohesion to the townscape while preserving the important view of the north-east elevation of the Cathedral. Shelter in the form of balconies or verandahs over footpaths to the south-west corner of King William Road and Kermode Street intersection may be developed.

On the eastern side of King William Road new buildings should acknowledge the scale, siting and character of the adjacent Cathedral Hotel and the Anglican Church Offices.

The Policy Area should retain major traffic flows on King William Road and Sir Edwin Smith Avenue and maintain high levels of pedestrian safety and accessibility to adjacent Park Lands and public gardens adjacent the existing public road network.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Cathedral Policy Area for residential purposes at low and medium densities.
- Objective 3:** The maintenance of residential amenity through limiting non-residential development to existing sites.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, (except for land identified as the St Mark's College site indicated on Fig C8/1)

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

4 The bulk and density of development should satisfy the following:

- (a) Basic and maximum plot ratio: 1.0; (except for land identified as the St Mark's College site indicated on Fig C8/1 where no plot ratio applies) and
- (b) Dwelling Unit Factor:
 - (i) 450 square metres - detached dwelling, semi-detached dwelling and group dwelling;
 - (ii) 450 square metres - residential flat building not contained within an existing building;
 - (iii) 250 square metres - residential flat building contained within an existing building;
 - (iv) 300 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:

- (a) on land greater than 2000 square metres; or
- (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
- (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.

6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):

- (a) Detached dwelling: 12 metres;
- (b) Semi-detached dwelling: 12 metres;
- (c) Group dwelling or residential flat building: 18 metres.

7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

8 Along Brougham Court, Brougham Place west of Brougham Court, and Palmer Place north of

Kermode Street, two-storey development should be confined to the rear of properties away from street frontages, subject to overshadowing and privacy constraints.

- 9 Shelter in the form of verandahs over footpaths should be confined to existing verandahs, and new balconies or verandahs to the south-west corner of King William Road and Kermode Street.
- 10 Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- ~~11 Further development of St Marks College should be within existing site boundaries and associated with educational uses or student accommodation. The siting and design of development should have regard to the following:~~
 - ~~(a) development should preserve the visual prominence of the State heritage places, namely Walkley Cottage, Downer House, Grenfell Price Lodge and Hawker House and conserve their open setting and curtilage;~~
 - ~~(b) development should maintain the existing pattern of development characterised by free standing buildings within landscaped grounds;~~
 - ~~(c) development replacing buildings that are not identified heritage places up to two storeys located at the street frontage or with minimal set back to Abbot Lane is appropriate, but should present an articulated facade;~~
 - ~~(d) development on the Kermode Street frontage that replaces buildings that are not identified Heritage Places may achieve a more imposing and less domestic scale with minimal building set back to the street frontage, provided any redevelopment on the corner complements the Queens Head Hotel opposite; and~~
 - ~~(e) new buildings are not desired on the Pennington Street frontage.~~

11 Development of St Mark's College should:

- (a) be in accordance with the Concept Plan Fig C8/1; and should:
- ~~(a) be associated with student accommodation and educational uses;~~
- ~~(b) retain the prominence of St Peter's Anglican Cathedral to the skyline when viewed from the surrounding locality and retain the views of St Peter's Anglican Cathedral when viewed from Pennington Terrace, Brougham Place and King William Street;~~
- (b) ensure new buildings up to a maximum of 4 ~~four~~ building levels or 12 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - ~~(i) designed to retain the visual prominence of the State Heritage Places;~~
 - (i) ensure the height, scale and siting of any new building does not detract from the landmark significance of St Peters Cathedral;
 - ~~(ii) ensure buildings and additions are not built in the area marked "sensitive heritage and character context"~~
 - ~~(iii) retain the low scale setting of Kermode Street and Abbott Lane; and~~
 - (ii) be located in areas identified as 'Taller Built Form';
 - (iii) ensure Low Scale Built Form up to 3 building levels is located along Kermode Street and the central areas of the site;

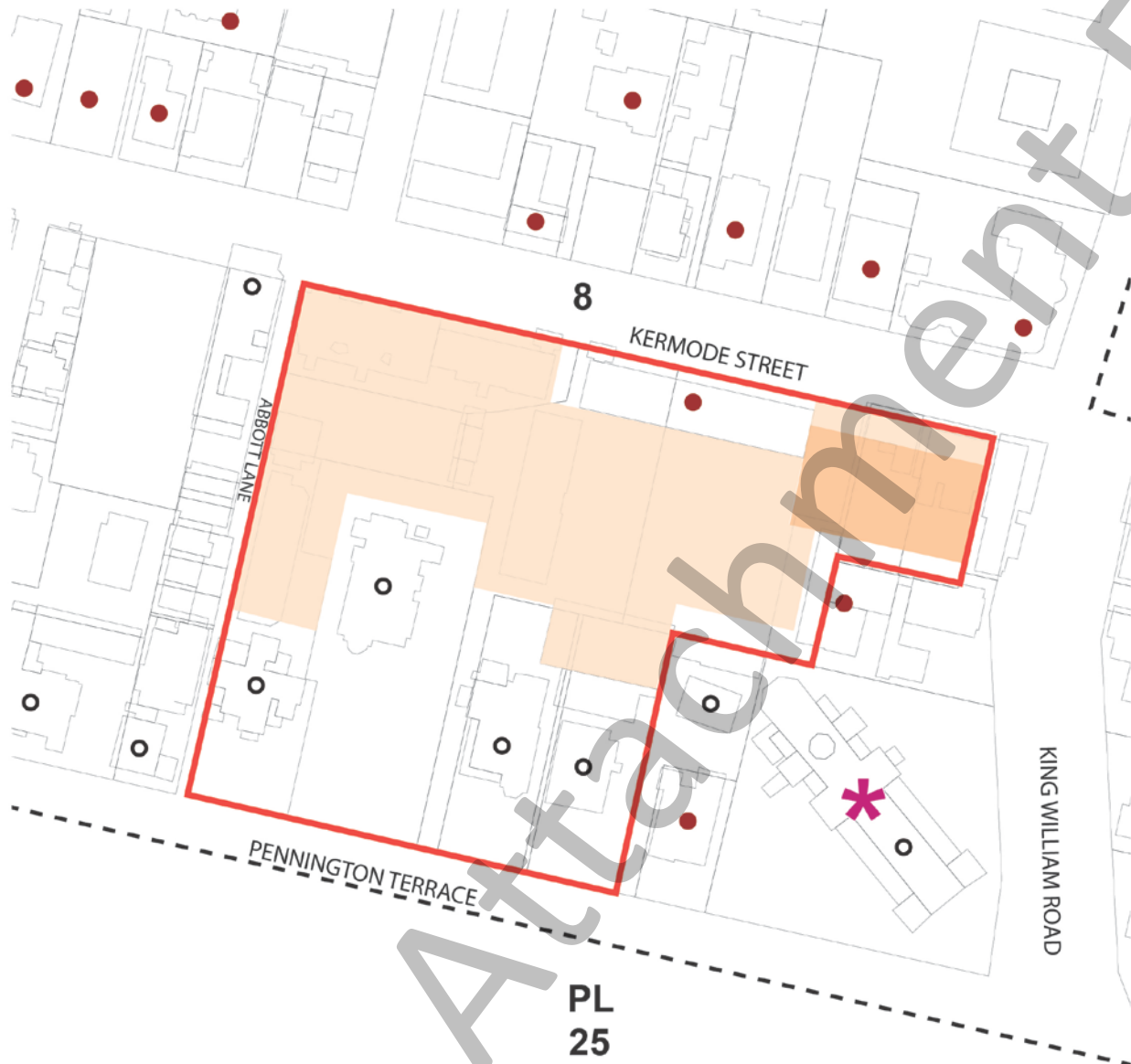
- (iv) ensure Low Scale Built Form up to 2 building levels is located along Abbott Lane;
- (v) comprise of a building form which is modulated and articulated; and avoids long sections of unbroken buildings and unarticulated facades; and
- (vi) incorporate the use of landscaped open space to break up building mass and maintain the heritage setting;
- (c) ~~locate~~ ensure on-site car parking is located at basement level to ensure efficient use of land and minimise visual impact.

12 Development should not detract from the prominence of the following landmark Heritage Places:

- (a) St Peter's Anglican Cathedral;
- (b) sandstone dwelling at the junction of Kermode Street and Palmer Place;
- (c) bluestone terrace house at the junction of Kermode Street and Lakeman Street;
- (d) former North Adelaide Church of Christ Chapel; and
- (e) Queens Head Hotel.

Advertising

- 13** Advertisements should be restrained in size, number and illumination and should be carefully designed and sited so as not to detract from the residential amenity of the Zone.
- 14** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.



- 8 Cathedral Policy Area
- 25 Adelaide Oval Policy Area
- St Mark's College Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 4 building levels
- State Heritage Place
- Local Heritage Place
- * Landmark Heritage Site
- - - Policy Area Boundary

ADELAIDE (CITY)
ST MARK'S COLLEGE
CONCEPT PLAN
Fig C8/1

Version D 14/06/16

Women's and Children's Hospital Policy Area 9

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Policy Area should be retained as a key institutional enclave. The State Heritage Places are representative of traditional institutional architecture the most significant historic townscape elements within the Policy Area. These Heritage Places complement the low scale townscape character of the adjacent Cathedral Policy Area.

The Policy Area is generally fully developed for uses associated with the Women's and Children's Hospital and the Memorial Hospital. Development associated with these health care facilities should include the replacement of buildings that are not identified Heritage Places. [Development north of Kermode Street may expand the footprints of existing buildings to allow the upgrade of existing facilities. The scale of new development should reinforce the existing scale of development.](#)

[New Development should improve the streetscape of Kermode Street by providing land uses and building facades that activate the street and designed to contribute to a high quality public realm.](#)

New development should conserve these individual historic elements as viewed from the public road frontages, although it is recognised that existing and future development within the central parts of the north and south sections of the Policy Area may include taller buildings.

[New Development should ensure the visual prominence of St Peter's Anglican Cathedral is maintained when viewed from the key locations. New Development should complement and not detract from the be complementary to the skyline and strengthen the architectural quality of the locality, particularly when viewed from key vistas including the Riverbank and Park Lands.](#)

Development incorporating buildings at the edges of the Policy Area should, where practicable, achieve a scale and character more compatible with the lower scale and historical residential character of Lower North Adelaide to the north-east.

Progressive enhancements of the landscape character and amenity by street tree planting and on-site landscaping to frontage of King William Street, [Kermode Street, and Sir Edwin Smith Avenue. In particular, improvements to the frontage of the Memorial Hospital, and the outlook over the Park Lands on three sides of the Policy Area is desired.](#)

The Policy Area should maintain a high degree of pedestrian amenity and shelter provided by street trees and on-site landscaping, with pedestrian safety and ease of access to the adjacent Park Lands maintained.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

~~**Objective 2:** Development of the Women's and Children's Hospital and the Memorial Hospital within existing site boundaries.~~

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.

~~2 — Development should not exceed the following basic and maximum plot ratio*:~~

- ~~(a) 4.0 north of Kermode Street; and~~
- ~~(b) 1.5 south of Kermode Street~~

- 2 Development north of Kermode Street should not exceed the building height of the **Women's and Children's Hospital**. ~~tallest existing building not exceed six building levels or locate a ceiling more than 21 metres above the median natural or finished ground level at any point or any part of a building.~~
- 3 Development along King William Road north of Kermode Street, Pennington Terrace and Sir Edwin Smith Avenue (south of Kermode Street) ~~should be of a lower scale and not exceed two buildings levels or locate a ceiling more than six metres above the median natural or finished ground level at any point or part of a building.~~
- 4 Development should achieve a transition and balance between the lower scale Heritage Places within the Policy Area and the larger more recent buildings.
- 5 A minimum of 20 percent of the total site area should be provided for landscaped open space on the site of development.
- 6 Development should be complemented by landscaping to soften and relieve any large building mass **and provide quality spaces.**
- 7 Development south of Kermode Street should:
 - (a) ~~be in accordance with Concept Plan Fig WC/1; and should:~~
 - (b) **retain the set back and sense of address and open character to the Park Lands; by avoiding buildings and additions in the area marked "sensitive heritage and character context".**
 - (c) **ensure new buildings up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building are designed to:**
 - (i) **be located in areas identified as 'Taller Built Form';**
 - (ii) **locate Low Scale Built Form up to 4 building levels to transition down in scale to Local Heritage Places along Sir Edwin Smith Avenue and Pennington Terrace and to retain views to St Peter's Anglican Cathedral;**
 - (iii) **ensure that long ranging views and vistas of St Peter's Anglican Cathedral are maintained;**
 - (iv) **complement and enhance the skyline which incorporates key land marks including St Peter's Anglican Cathedral and Adelaide Oval;**
 - (v) **minimise building mass at the interface from an adjoining boundary by by locating Taller elements siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods; and**
 - (vi) **ensure the building fronting Kermode Street has a high proportion of windows, fine grain appearance and a dynamic pedestrian environment;**
 - (vii) **ensure buildings are sited off of side and rear boundaries and avoid blank walls that will be visible from the surrounding locality;**

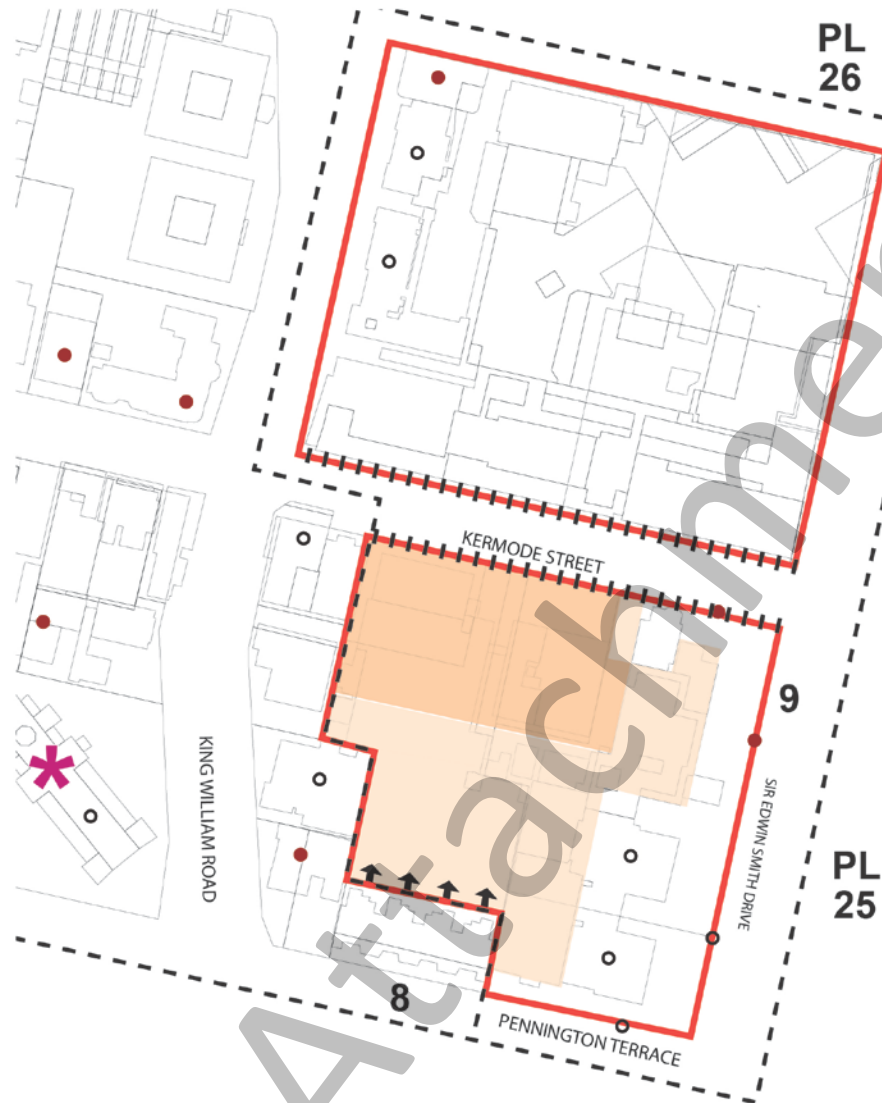
- (viii) comprise of a building form which is modulated and articulated; and
- (ix) incorporate the use of landscaped open space to break up building mass;
- (x) provide an activated building interface to Kermode Street;
- (xi) provide high quality spaces to the street; and
- (xii) provide a visually interesting streetscape with buildings having a high level of fenestration, detailing and orientation towards the street; and
- (d) locate additional onsite car parking ~~is located~~ at basement level to ensure efficient use of land and minimise visual impact; and
- (e) remove the visual impact of existing car parking, vehicle access and egresses to the area by siting any new car parking away from the street frontages;

Transport and Movement

- 8 Development should facilitate the use of all modes of transport including cycling, walking, public transport, car share and vehicular access.

Advertising

- 9 Advertisements should be restrained, discreet and limited to those required for directional purposes.
- 10 The restrained illumination of advertisements may be appropriate but should not detrimentally affect the skyline, streetscape environment or residential amenity of this Policy Area or the adjacent Cathedral Policy Area.



- 8 Cathedral Policy Area
- 9 Women's and Children's Hospital Policy Area
- 25 Adelaide Oval Policy Area
- 26 Carclew Policy Area

- Women's and Children's Hospital and Memorial Hospital Site
- Low Scale Built Form up to 4 building levels
- Taller Built Form up to 6 building levels
- Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- * Landmark Heritage Site
- Activated Street Frontages
- Policy Area Boundary

ADELAIDE (CITY)
MEMORIAL HOSPITAL &
WOMEN'S & CHILDREN'S HOSPITAL
CONCEPT PLAN
Fig WC/1

Version C 15/02/16

Stanley West Policy Area 10

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/39, 40 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Stanley West Policy Area should remain one of the lowest density residential areas in Upper North Adelaide with a distinctive and cohesive character derived from its townscapes. These are established by large nineteenth and early twentieth century dwellings comprising more substantial Victorian, Edwardian and Georgian Revival villas, and other low density detached and semi-detached dwellings in a variety of forms and styles.

St Ann's College will provides student accommodation and education activities. Development should meet the community needs and future requirements by adapting to demographic changes, technological advances and legislative requirements whilst reinforcing the heritage value of the Policy Area.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Kingston Terrace;

The townscape character is established by large one and two storey detached residences on individual allotments set close to the street with a Park Lands frontage. Towards Lefevre Terrace, the townscape is dominated by the imposing rear elevations of two large mansions with frontages to Stanley Street.

New dwellings should complement existing residences, which are modelled and articulated, constructed of masonry, with a high proportion of solid to void in the composition of facades and often feature verandahs and balconies. Building set-backs from the Park Lands frontage should be consistent with the alignment of the main face of adjacent Heritage Places. Where a site is between two Heritage Places, the greater of the two set-backs should be applied to the new dwelling.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places or the development of vacant land held in an existing Certificate of Title.

(b) Stanley Street (northern side):

The townscape features two large mansions set well back from the northern frontage on elevated ground above Stanley Street. The remainder of the townscape comprises large detached and semi-detached residences.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places or the development of detached or semi-detached buildings on vacant land held in an existing Certificate of Title.

(c) Stanley Street (southern side) and Brougham Place (where it is a visual continuation of Stanley Street):

Because of the sloping topography two-storey residences on the southern frontage present a single-storey appearance to Stanley Street and Brougham Place. West of New Street the

close subdivision pattern and consistent set-back of stone Victorian villas typified by rich detailing and cast-iron ornamentation, contribute to a distinctive and cohesive built form. This elegant character is reinforced by stone and cast iron boundary fencing along the street frontage.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places. Replacement development should reinstate the traditional built form comprising detached or semi-detached dwellings presenting as single storey to the street frontage, with front and side boundary building set-backs consistent with those of adjoining Heritage Places.

(d) Brougham Place (western Policy Area boundary):

The townscape comprises the imposing and finely detailed Brougham Place Uniting Church with its dominant central tower, and the closely developed group of low scaled St Ann's College buildings which step down the Brougham Place frontage reflecting the topography of the locality and the Policy Area generally.

Development opportunities should be limited to the conservation of the Uniting Church, with ~~and the height and scale of new development at St Ann's College not detracting from the landmark significance of the Brougham Place Uniting Church within the existing site boundaries.~~

~~New development at St Ann's College should be designed to retain the sense of address to the Park Lands, Brougham Place and Melbourne Street. Development should respect the topography, scale, massing, materials and colours of domestic architectural form in and near the Policy Area and avoid the use of brightly coloured, black or highly reflective surfaces.~~

~~New development at St Ann's College should be designed to take advantage of the landfall to provide semi-basement floors and views from the upper levels southwards over the City. The retention of significant vegetation and additional High quality landscape open space should be incorporated. to soften the presentation of recent development is required in the.~~

The imposing residential built-form edge to Brougham Gardens and the Park Lands along the Brougham Place frontage should be preserved.

Views of the City from Stanley Street and Brougham Place properties should be protected. Buildings on Stanley Street, Kingston Terrace and Brougham Place may be constructed to take advantage of the landfall to provide semi-basement floors and views from upper levels southwards over the City, provided overlooking is adequately addressed through appropriate design.

Protection of the landscape qualities of public and private open space, including avenue and adjacent Park Lands planting and vistas to the Park Lands, Brougham Place and the eastern end of Stanley Street, should further distinguish the Policy Area's character.

Pedestrian amenity and shelter should be provided by street trees and other landscaping and a high standard of paving. Pedestrian safety and accessibility to the adjacent Park Lands and Brougham Gardens should be maintained.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development of the Stanley West Policy Area for residential purposes at low densities, compatible with the built form and landscape character of one of the City's most historically significant residential areas.

Objective 3: ~~Development of St Ann's College within its existing site boundaries.~~

Objective 3: Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building except for:
 - (a) Jerningham Street, where development should not exceed 1 building level or locate a ceiling more than 3 metres above the median natural or finished ground level at any point or any part of a building;
 - (b) Old Street west of New Street, where development should not exceed two building levels built above one level of undercroft parking or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building; and
 - (c) land where identified as the St Ann's College site on Fig SW/1

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

- 4 The bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 0.7, (except on land where identified as the St Ann's College site in Fig SW/1 where no plot ratio applies); and
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 120 square metres - any dwelling fronting Old Street;
 - (vi) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are

consistent with desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:

- (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7 A minimum of 50 percent of the total site should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- ~~6 Development of St Anne's College associated with educational uses or student accommodation within existing site boundaries may be appropriate. The siting and design of development should have regard to the following:~~
- ~~(a) the height, scale and siting of any new building should not detract from the landmark significance of the Brougham Place Uniting Church;~~
 - ~~(b) buildings on Brougham Place should be constructed to take advantage of the landfall to provide semi-basement floors and views from upper levels southwards over the City to complement the closely grouped low scaled St Ann's college buildings which step down the Brougham Place frontage from the landmark of the church tower;~~
 - ~~(c) buildings should be consistent with the established building set back along Melbourne Street and Brougham Place;~~
 - ~~(d) contemporary development that respects the scale, massing, materials and colours of domestic architectural forms in the Policy Area is desired;~~
 - ~~(e) the presentation of articulated facades to the street frontage is appropriate and garage doors and blank, unrelieved elevations are not desired; and~~
 - ~~(f) the retention of significant vegetation and the introduction of additional high quality landscaping to soften the presentation of more recent development is required in the further development of the site.~~

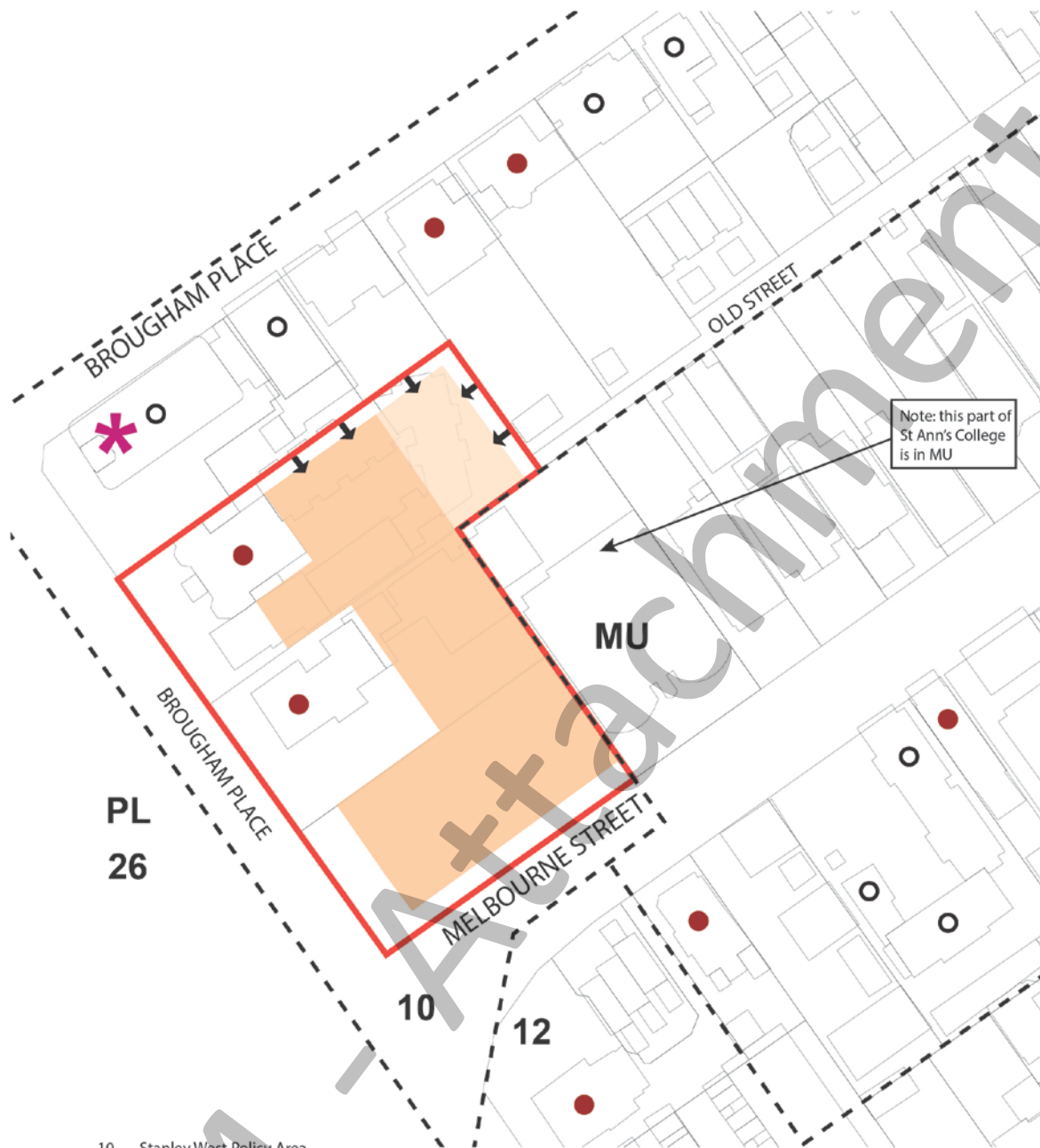
8 Development of St Ann's College should:

- (a) be in accordance with the Concept Plan Fig SW/1; and should:
- (b) be associated with student accommodation and educational uses;

- (c) ~~ensure buildings and additions are not built in the area marked "Sensitive Heritage and Character Context" on the Concept Plan Fig SW/1;~~
 - (d) ensure new buildings up to a maximum of 4 building levels or 12 metres above the median natural or finished ground level at any point or any part of a building are located and designed to :
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) ensure that Low Scale Built Form up to 2 building levels is located near adjacent properties of Stanley Street;
 - ~~(iii) ensure the height, scale and siting of any new building should does not detract from the landmark significance of the Brougham Place Uniting Church;~~
 - (iii) retain the character of the natural landfall;
 - (iv) protect views of the City from Stanley Street and Brougham Place properties and protect views to Brougham Place Uniting Church;
 - (v) be set back 3.5 metres from Melbourne Street consistent with the setback of Melbourne Street (Mixed Use (Melbourne West) Zone);
 - (vi) provide a compatible setback with adjoining residential allotments and State and Local Heritage Places;
 - (vii) minimise building mass at the interface from an adjoining residential boundary by locating Taller elements siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods;
 - (viii) comprise of a building form which is modulated and articulated; and ~~avoids long sections of unbroken buildings and unarticulated facades; and~~
 - (ix) incorporate the use landscaped open space to break up building mass.
 - (e) ensure higher levels of activity are designed to protect residential amenity at the interface with residential dwellings; and
 - (f) consolidate and locate access points to minimise impacts to residential amenity from parking, loading and access; and
 - (g) locate additional onsite car parking is located at basement level (to ensure efficient use of land and minimise visual impact).
- 9** Buildings on Stanley Street, Kingston Terrace, Melbourne Street and Brougham Place may be constructed to take advantage of the landfall to provide semi-basement floors and views from upper levels southwards over the City, provided overlooking is adequately addressed through appropriate design.
- 10** On the southern frontages of Brougham Place and Stanley Street, west of New Street, the level of the top-most floor should not exceed that of existing adjacent development.
- 11** The height, scale and siting of any new building should not detract from the landmark significance of the Brougham Place Uniting Church.

Advertising

- 12 The maximum size of advertisements should be 0.2 square metres and should be limited to one advertisement for each premises.
- 13 Only discreet advertisements required to identify the location of premises may be appropriate.
- 14 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate
- 15 Advertisements which project from the wall of a building are inappropriate.



- 10 Stanley West Policy Area
- 12 Finnis Policy Area
- MU Mixed Use (Melbourne West) Zone
- 26 Brougham & Palmer Gardens Policy Area

- St Ann's College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- Interface from Adjoining Boundary
- * Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY)
ST ANN'S COLLEGE
CONCEPT PLAN
Fig SW/1

Version D 16/03/16

Kentish Arms Policy Area 11

(no changes)

Finniss Policy Area 12

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/40, 44 and 45](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Finniss Policy Area creates a distinctive built form edge between the Park Lands and Lower North Adelaide. The predominantly low scale residential character of the Policy Area will be maintained by new residential development which complements the predominantly one and two storey buildings.

The heritage value of the area should be retained by the conservation of Heritage Places and sensitively designed infill development.

Kathleen Lumley College will provide student accommodation and educational activities. Development should meet the community needs and future requirements by adapting to demographic changes, technological advances and legislative requirements whilst reinforcing the heritage value of the Policy Area.

The landscape qualities of private open space, the adjacent Park Lands and the established avenue planting in Finniss Street and MacKinnon Parade should remain important elements in the Policy Area's character.

Pedestrian safety and accessibility within the Policy Area and to the adjacent Park Lands should be maintained.

(a) Finniss Street (north side):

Development should contribute to the historic character of the Finniss Street townscape through conserving and complementing the consistent siting and scale of the Victorian and Edwardian villas and, towards the eastern part, the terraces and cottages.

New residential buildings should be single storey, detached and semi-detached dwellings. Verandahs facing the street, gable roofs, bay window frontages, open style fences or the simple facades of the early vernacular are appropriate in new development forms. Facades should be constructed with a high solid to void ratio.

The prominence of the British Hotel with its fine detailing and cantilevered balcony should be maintained by the careful design and set-back of adjacent development.

(b) Finniss Street (south side):

Development ~~including of Kathleen Lumley College~~ should comprise detached and semi-detached dwellings that present to the street as single storey buildings, complementing the scale and siting of the Victorian and Edwardian villas on the northern side of Finniss Street.

New development should comprise contemporary residential buildings that reflect the shape and form of Heritage Places in the Policy Area, with particular reference to roof pitch, verandahs, eaves, materials, setbacks and fencing. Facades should be constructed with a

high solid to void ratio.

Development adjacent the street frontage should not take reference from buildings of two or more storeys that are seriously at conflict with the historic character of the Policy Area.

~~and reinforce the Dickson Platten Masterplan. Completion of the principles of the Dickson Platten Masterplan is envisaged to provide an example of the influential architecture comprising of medium density dwellings for student accommodation. The development should be designed to incorporate sturdy red brick work, expressed off-form concrete structural elements and tiled roofs. It should also be designed to reflect the pitched roofs, well shaded verandahs and wide eaves and maintain the internal quadrant design with landscaped open space.~~

(c) MacKinnon Parade:

New development should comprise contemporary residential buildings that reflect the shape and form of traditional buildings styles, with particular reference to roof pitch, verandahs, eaves, materials, setbacks and fencing. Facades should be constructed with a high solid to void ratio.

New residential buildings should comprise detached and semi-detached dwellings of one or two storeys, with the exception of existing large amalgamated sites of no heritage value, where the introduction of residential flat buildings may be appropriate provided such development is designed to reinforce the traditional siting pattern of individual detached dwellings.

Development adjacent the street frontage should not take reference from buildings of two or more storeys that are seriously at conflict with the historic character of the Policy Area.

Development should retain the visual prominence of the State Heritage Place of Kathleen Lumley College.

(d) Brougham Place:

Additional dwellings on the Brougham Place frontage are not desired.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development primarily for residential purposes at low densities providing a distinctively lower scale built form edge to the Park Lands frontages.
- Objective 3:** The maintenance of residential amenity by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land where identified as the Kathleen Lumley College site on Fig FS/1).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

- 4 The bulk and density of development should not exceed the following:
- (a) Basic and maximum plot ratio: 0.8 (except for land identified as the Kathleen Lumley College site on Fig FS/1 where no plot ratio applies); and
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:
- (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment, where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.

- 7 A minimum of 40 percent of the total site should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

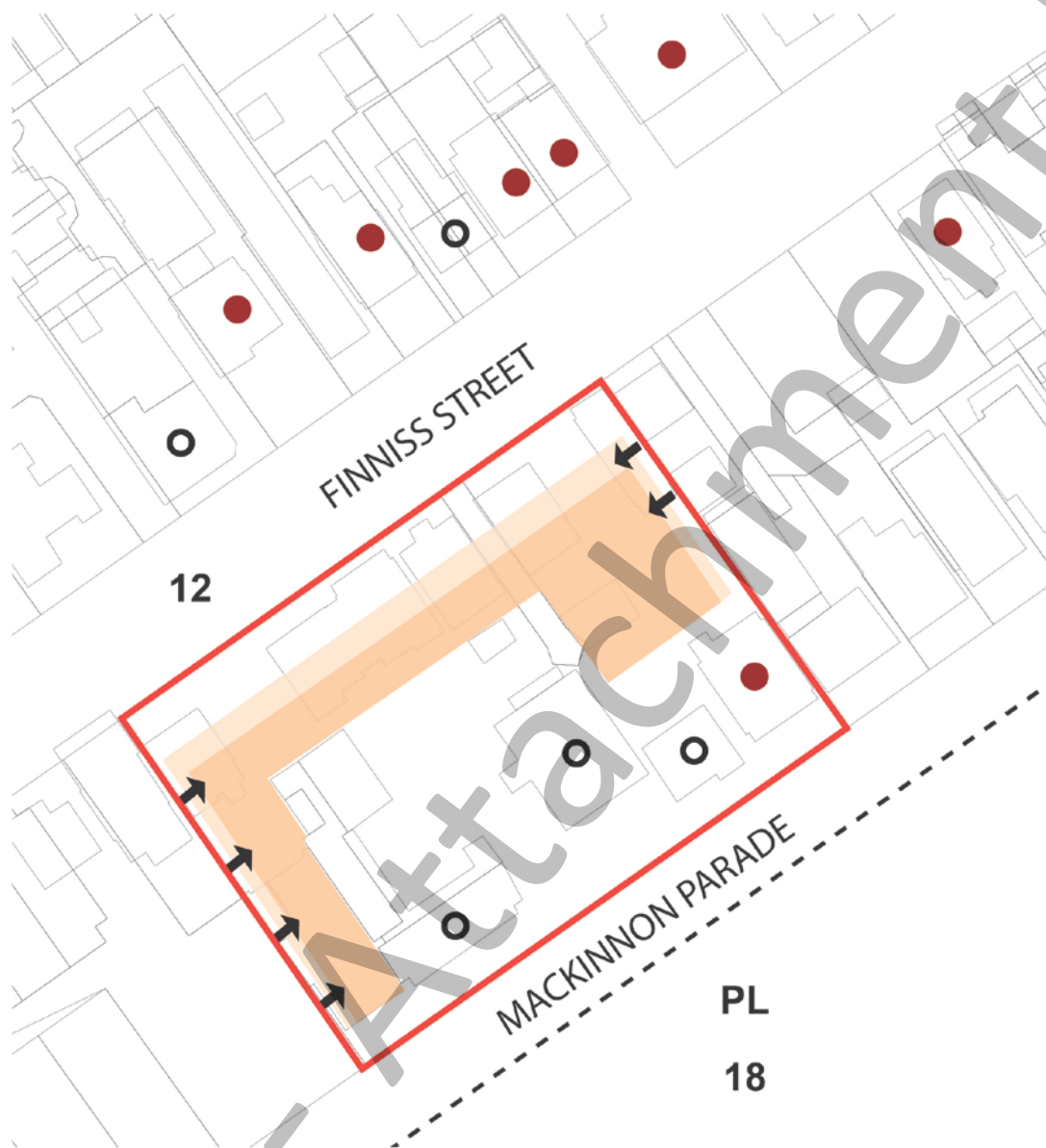
In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- 8 Additional buildings on the Brougham Place frontage should not be developed.

- 9 Development should preserve and, where possible, reinstate a strong residential built-form edge to the Park Lands through the regular siting and pattern of single storey buildings addressing the primary street frontage.
- 10 Non-residential development should only occur in Finniss Street and in Jerningham Street, north of Finniss Street. Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- 11 Development of Kathleen Lumley College should:
- (a) be in accordance with the Concept Plan FS/1; ~~reinforcing the Dickson Platten Masterplan and should be associated student accommodation and educational uses;~~
 - ~~(b) ensure buildings and additions are not built in the area marked "Sensitive Heritage and Character Context" on the Concept Plan Fig FS/1;~~
 - (b) ensure new buildings up to a maximum of 3 building levels or 9 metres above the median natural or finished ground level are designed to:
 - ~~(i) preserve the visual prominence of the State Heritage Places;~~
 - ~~(ii) maintain the frontage and orientation of the college to McKinnon Parade;~~
 - (i) be located in areas identified for Taller Built Form and set back from the Finniss Street frontage;
 - (ii) ensure that only ~~locate~~ Low Scale Built Form between 1 -2 storeys is located along Finniss Street;
 - (iii) minimise building mass at the interface with adjoining boundaries by locating Taller elements in the centre of the site and within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods;
 - (iv) comprise a building form which is modulated and articulated; and
 - (v) avoid long sections of unbroken buildings and unarticulated facades and incorporate the use of landscaped open space to break up building mass;
 - (c) consolidate and locate access points to minimise the impact to residential amenity from parking, loading and access; and
 - (d) ~~locate additional onsite car parking is located~~ at basement level to ensure efficient use of land and minimise visual impact.
- 12 Development of Kathleen Lumley College may involve sympathetically designed alterations of up to 4 building levels to the existing State Heritage place.

Advertising

- 13 Advertisements should not exceed 0.2 square metres and should be limited in number.
- 14 Illumination of advertisements will only be appropriate where it is discreet and does not adversely affect residential amenity.
- 15 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.



- 12 Finniss Policy Area
- 18 River Torrens East Policy Area

- Kathleen Lumley College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 3 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary



ADELAIDE (CITY)
KATHLEEN LUMLEY COLLEGE
CONCEPT PLAN
Fig F/1

Version D 14/06/16

Archer West Policy Area 13

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area shown in maps Adel/38 and 39. They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

Desired Character

The Policy Area will be ~~enhanced~~ as an attractive locality with a high level of amenity accommodating residential and community land uses.

A mix of residential uses including dwellings, student accommodation and ~~aged~~ supported accommodation will be developed. The residential uses will include a variety of dwelling types and building forms that respond to their ~~site~~ context.

East of Walter Street a greater mix of land uses will continue acknowledging the proximity to the Main Street (O'Connell) Zone. Non-residential land uses such as a place of worship, community centre, offices consulting rooms, library and museum are appropriate.

West of Walter Street, any expansion of non-residential land uses such as consulting rooms or offices will be of a scale that does not ~~to harm~~ impact the core commercial ~~role functions~~ of the Mainstreet (O'Connell) Zone. Retail land uses are not envisaged in order to maintain the ~~primacy of centre hierarchy established by the Mainstreet (O'Connell) Zone as the focus for shopping,~~ commercial and entertainment activities in North Adelaide.

The Policy Area contains a number of large land parcels that will be progressively developed with contextually designed high quality developments.

Opportunities exist on large and consolidated land parcels for development that is greater in scale and intensity than its surrounding Policy Areas. Low scale streetscapes will be reinforced and taller built form is appropriate when located away from street frontages and sited to limit impacts to residential amenity. ~~and residential amenity will be maintained by ensuring are sited away from existing low scale street frontages and achieve appropriate relationships, amenity and interface with adjoining properties.~~ Size, proportions and orientation of new buildings will reinforce the historic grid pattern and smaller building footprints.

The amalgamation of small land parcels presents opportunities to further improve the fragmented character of the area and strengthen the overall historic character of the Policy Area and Zone. Development will occur in a coordinated and orderly manner with design responses complementary to the areas historic context and contributing positively to the public realm and residential amenity.

Development within the Policy Area will be designed in context and will provide compatible visual relationships with the broader Zone by reinforcing the heritage values and character of the Zone and reinforcing the landmark Hebart Hall.

Development to the street frontages will be ~~remain~~ low scale and ~~contribute to the creation of~~ create cohesive townscapes with buildings respecting the existing nineteenth and early twentieth century building forms in a responsive, sensitive and contemporary manner. ~~The character of New development should reinforce the character of the historic built form as described below:~~

(a) Archer Street

Development in Archer Street will achieve a gradual transition from the more contemporary building forms and townscape character of the Main Street (O'Connell) Zone to the low scale and historic character of built form surrounding Wellington Square. New buildings fronting the Square should continue the prevailing setbacks and be low scale so as to not exceed the existing height of buildings fronting the Square.

(b) Jeffcott Street

This townscape comprises the Lutheran Seminary buildings and a number of detached single and two storey Heritage Places of consistent architectural style, form and siting. Development will maintain the historic character derived from the prominent historic buildings of Hebart Hall and nearby Bishops Court. Development opportunities are limited to alterations to these existing buildings that respect and interpret these building forms in a sensitive, contemporary manner.

(c) Ward Street

This townscape comprises the Lutheran Seminary buildings, a number of single storey detached and semi-detached dwellings and former dwellings as well more recent two and three storey buildings.

At the western end of Ward Street, development will maintain the historic character derived from the prominent historic buildings of Lutheran Seminary, Hebart Hall (former Whinham College) and nearby Bishops Court

At the eastern end of Ward Street there are opportunities to redevelop under-utilised land with contextually designed new buildings and additions.

(d) Walter Street

Walter Street will be enhanced by development that responds to the more intimate scale and siting of the historic and established built form.

Throughout the Policy Area, buildings will be developed to provide an interesting pedestrian environment and human scale. Buildings will have careful articulation and fenestration, frequent openings in building facades, verandahs, balconies, and other features to provide development that is complementary to the areas historic development pattern. Development will maintain residential amenity by providing a suitable built interface to sensitive development including existing low scale residential development and Local and State Heritage Places in the Policy Area. Improved design of both public and private spaces will enhance amenity for residents and visitors, including and also pedestrians and cyclists.

Opportunities for shared car parking arrangements should be utilised exploited to support the new development in the Policy Area. For redevelopment of larger land larger consolidated parcels, new car parking should be provided at basement level to optimise the use of land and to limit the visual impact on the amenity of the area. Additional surface car parking and above ground car parking should be avoided except in the case of low scale residential development dwellings.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development ~~provided for~~ primarily for residential purposes ~~at or~~ at a variety of densities that respond to the site context.

Objective 3: Non-residential development will contribute to a liveable community with places of employment and community services whilst maintaining high a residential amenity and not impacting the primary role of the Mainstreet (O'Connell) Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Development should be consistent with the Desired Character for the Zone and Policy Area.
- ~~2 Development should be in accordance with the Concept Plan (Fig 13/1).~~
- 2 The following types of development or combinations thereof are envisaged:
 - Consulting Room
 - Community Centre
 - Dwelling
 - Dwelling addition
 - Library
 - Office
 - Museum
 - Nursing home
 - Place of worship
 - Residential flat building
 - Retirement living
 - Student Accommodation
- 3 Non-residential land-uses should be of small scale and intensity so as to not prejudice development of the Mainstreet (O'Connell) Zone ~~non-residential zones~~ and to be compatible with residential amenity.
- 4 Development should ensure a high quality living environment is achieved ~~for residential development.~~

Form and Character

- 5 Development should be in accordance with the Concept Plan (Fig 13/1).
- 6 Re-development of sites that are presently incompatible with the historic character of the Zone and Policy Area are encouraged.
- 7 A minimum of ~~30~~ 40 percent landscaped open space should be provided on the site of any development.
- 8 Development fronting Ward Street, Jeffcott Street and Archer Street should complement the established low scale streetscape and should not exceed 2 building levels or the height of an existing building fronting the street, whichever is greater.
- 9 Development in Walter Street (North-South section) should be more intimate in scale and character and may incorporate two-storey elements away from the street frontage behind a single storey façade.

- 10 Development in Walter Street (East- West section) should be responsive to existing the existing Heritage Places and transition to the medium scale development of the adjoining Mainstreet (O'Connell) Zone.
- 11 Development should preserve Preservation of the visual prominence and landscaped setting of Hebart Hall the Lutheran Seminary (formerly Whinham College) buildings is required including the centre clock tower spire and cast iron and stone walling along the Jeffcott and Ward Street frontages.
- 12 Development around Hebart Hall should be set back and low scale to provide visual relief and maintain the setting of the Heritage Place.
- 13 Development should maintain existing views to the Heritage Places.

~~Development up to 6 building levels or 18 metres may be appropriate, where parts of buildings above 2 building levels:~~

- ~~(a) are sited away from the street frontages to retain the low scale streetscapes and occur in a coordinated manner with design responses complementary to the areas context and contributing positively to the public realm;~~
 - ~~(b) comprise a variety of building forms separated by high quality landscaped open space;~~
 - ~~(c) are sited to preserve the visual prominence State and Local Heritage Places in the Policy Area;~~
 - ~~(d) incorporate appropriately sited, orientated, scaled and proportioned buildings that reflect the historic pattern and rhythm of development in the locality; and~~
 - ~~(e) are sited off side and rear boundaries to avoid blank walls.~~
- 14 Development up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building may be appropriate where buildings are designed to:
 - (a) taller built form is located on large and consolidated sites;
 - (b) be compatible to the zone context and heritage values and contribute positively to the public realm;
 - (c) incorporate appropriately sited and orientated forms to reflect the predominant historic grid pattern and reinforce the linear streetscape form;
 - (d) be sited away from existing street frontages to retain the low scale historic streetscape character and preserve the visual prominence of State and Local Heritage Places;
 - (e) comprise a series of smaller building footprints that are adequately separated by high quality landscaped open space to provide views through the built form to the sky beyond and non-contiguous shadows in adjoining areas and which optimise privacy, light and air ;

- (f) incorporate well-proportioned architectural treatments and rhythm in the built form through modulation and articulation to create small components and elements in the appearance of buildings to reinforce the human scale and historic character of the streetscape;
 - (g) provide a high ratio of solid to void;
 - (h) be sited off side and rear boundaries and avoid blank walls; and
 - (i) occur in a coordinated manner.
- 15** Development should utilise stone, brick, render, galvanized steel and terracotta that are characteristic and complementary to the historic built form of the area.
- 16** Development should be consistent with the building envelope as shown in Figure 1, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent low scale housing in terms of massing and overshadowing through alternative design methods:
- (a) to minimise building mass at the interface, buildings should be constructed within a building envelope provided by a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining low scale residential allotment within Policy Area 3 and Policy Area 13, as illustrated in Figure 1:

LEGEND

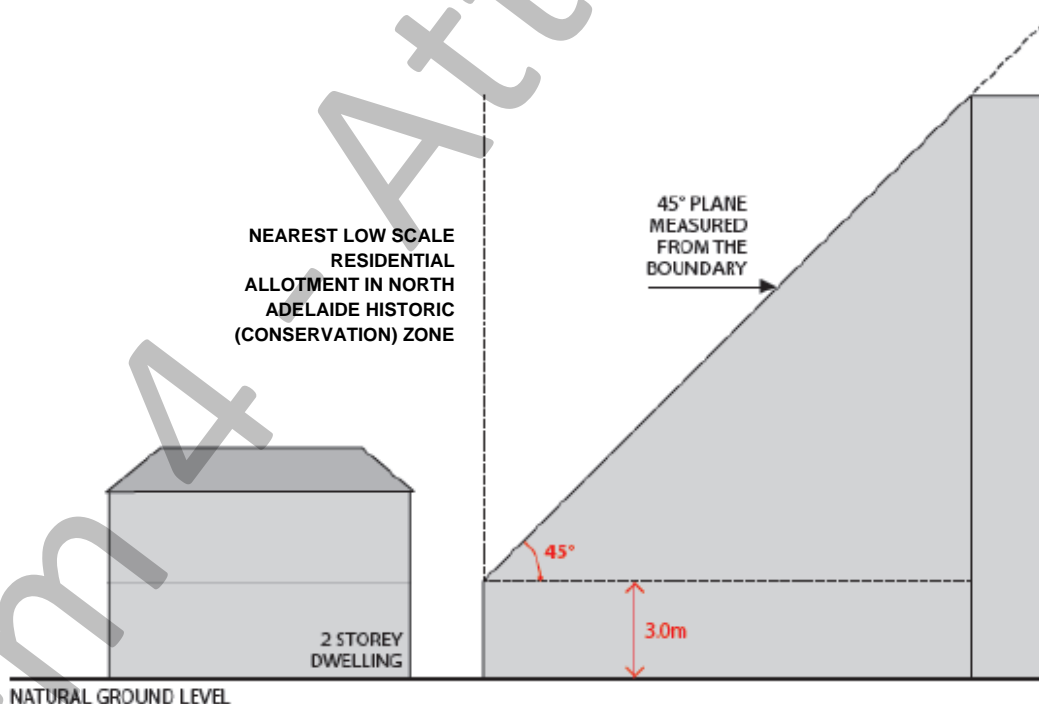


Figure 1

- 17** Buildings fronting internal streets and spaces should create an intimacy and enclosure of the spaces. Where possible, planting should be incorporated to reinforce the human scale of these spaces.

- 18 Development should be orientated to provide passive surveillance of walkways both internal and externally to sites and to the street environment.

Transport and Movement

- 19 Development should facilitate the use of all modes of transport including cycling, walking, public transport, car share and vehicular access.
- 20 Development should establish a clear hierarchy of movement corridors through large sites to create a legible and permeable street pattern.
- 21 Development should create new pedestrian linkages and a high degree of permeability through the Policy Area to improve connection with adjoining areas. ~~Development should establish A north – south connection should be established to which will facilitate ease of movement from Ward Street to Cambridge Street through to Tynte Street and to the Main Street (O’Connell) Zone.~~
- 22 Opportunities for shared parking should be ~~utilised~~ ~~exploited~~ for the Policy Area.
- 23 Except for low scale ~~buildings~~ ~~dwellings~~, any car parking should be located in the basement to provide for the maximum utilisation of land and limit the visual impact on the amenity and Historic character of the Policy Area. ~~to the locality.~~
- 24 Access points should:
- (a) be narrow and consolidated to minimise the impacts to pedestrian environments and maintain the residential scale and pattern of development.
 - (b) for parking, servicing or deliveries for development with high traffic volumes be from Ward Street to minimise traffic and vehicle queuing on Archer Street.
 - (c) ~~Development will be designed to~~ remove the visual impact of existing car parking, access and egresses to the area by siting any new car parking away from the street frontages.



- 3 Wellington Square Policy Area
- 4 Tynte Street Policy Area
- 5 Carclew Policy Area
- 13 Archer West Policy Area
- MS Main Street (O'Connell) Zone

- Policy Area 13 Boundary
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- ✱ Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary
- Interface with low scale buildings



ADELAIDE (CITY) ARCHER WEST POLICY AREA CONCEPT PLAN

Fig 13/1

Version D 14/06/16

Attachment tbc

New Principle 172 to go in the Council Wide Section on Height, Bulk and Scale

172 Buildings and structures should not adversely affect views from Brougham Place and Stanley Street to the City, and views to the visual landmarks of St Peters Anglican Cathedral and Brougham Place Uniting Church.

Attachment L



Attachment M



North Adelaide Development Plan Amendment (Updated March 2016)

Communication and Consultation Plan

APPROACH

1. There are four (4) stages to this Plan:
 - 1.1 Stage 1: Information Gathering - evidence base
 - 1.2 Stage 2: Context and Principle development - Community and land owner consultation – development of guiding principles
 - 1.3 **Stage 3: Testing** - Statutory Consultation – *Comments invited from the community on Council's DPA proposal*
 - 1.4 **Stage 4: Communication** - *Closing the loop*

OBJECTIVES OF THIS PLAN (STAGES 1-4)

2. The objectives of the Communications and Consultation Plan, and the activities which arise from it, are to ensure that stakeholders:
 - 2.1 Are aware of, and understand, the DPA process and the draft policies
 - 2.2 Are updated about progress and Council decisions
 - 2.3 Have an opportunity to provide input into the process
 - 2.4 Can see when, how and where their input has been considered
3. These objectives will be achieved through various communication/consultation channels outlined further below.
4. The general approach is to:
 - 4.1 **maintain good communication with all stakeholders** during preparation and finalisation of the DPA, with information provided through multiple channels to ensure appropriate coverage
 - 4.2 provide opportunities for stakeholders to **provide information for Council's consideration** during its preparation of the DPA
 - 4.3 provide opportunities for stakeholders to **provide feedback on the draft DPA** to inform its finalisation by Council
5. Ongoing and timely communication and consultation with the general public, stakeholders and DPTI will be critical to delivering outcomes from the DPA which align with the aspirations of Council, the community and the Minister for the areas included in the DPA.

6. The table below shows how each stage is integrated with the DPA development process.

Stage	Original Dates	Current Status
Proposal (Statement of Intent)	June 2014	COMPLETE
Stage 1: Information Gathering - evidence base	July – December 2014	COMPLETE
Stage 2: Context and Principle development - Community and land owner consultation – development of guiding principles	Dec 14	COMPLETE
Council report with policy options & directions	Dec 14	COMPLETE
Communicate to stakeholders Council Report	Post Dec meeting	COMPLETE
DPA drafting – ongoing communication with stakeholders		COMPLETE
Stage 3: Statutory consultation on DPA (subject to Ministerial Approval)	Feb, March and April -15 8 WEEKS (minimum)	COMPLETE Occurred over August to November 2016
Public Hearing	Early April 15	COMPLETE
Review & Council consideration	June 15	June 2016
Submit final DPA to Minister	June 15	Post Council
Ministerial consideration & finalisation	June – July 2015	Post Council
Stage 4: Communication	Ongoing	Post Ministerial decision

STAGE 3: Statutory Consultation – *Having your say on Council's proposed DPA*

7. The objective of Stage 3 was to enable stakeholders to make a formal submission on the draft Development Plan Amendment. All submissions have been collated and summarised in order to inform Council's finalisation of the DPA. It is proposed that all stakeholders making a submission be provided with information on how the input provided was considered as part of Council's finalisation of the DPA.
8. The following elements of Stage 3 were undertaken and are a requirement under the *Development Act 1993*:
- 8.1 Public notification via print media and government gazette
 - 8.2 Statutory minimum of 8 weeks, followed by a Public Hearing
 - 8.3 Agencies consulted as per the Statement of Intent

9. The following non-statutory measures were undertaken to allow the variety of persons likely to be interested an opportunity to comment:
 - 9.1 Hard copy materials, such as an information sheet, and also web based materials, principally using 'yoursay' on the Council website as a base and with an accompanied social media strategy. Target groups included:
 - 9.1.1 Directly affected property owners
 - 9.1.2 Resident groups
 - 9.1.3 Precinct groups
 - 9.1.4 People who were involved and registered interest from Stage 1 and 2
 - 9.1.5 Adjacent Council's and government agencies.
 - 9.2 The North Adelaide Community Centre was the primary base for information and engagement regarding the DPA. Stakeholders were encouraged to visit the Centre to gain information. City community and stakeholders were also invited to use the North Adelaide Community Centre for information briefings regarding the DPA.
 - 9.3 Use of visual imagery enabled the variety of stakeholders to conceptualise the development that may be possible with the proposed DPA
 - 9.4 Hard copy information was distributed to the Council library and community centres
 - 9.5 Drop-in" community information sessions early in the formal consultation period were undertaken (around week 2/3) to assist stakeholders understand the key elements of the proposed changes intended. These were held in North Adelaide.
10. For completion of Stage 3 the following actions need to be undertaken:
 - 10.1 Council consideration of all submissions received
 - 10.2 Formal consideration and decision by Council on the draft policy to amend the Development Plan
 - 10.3 Submit the final DPA to the Minister for Planning for consideration and finalisation.
11. Persons who made submissions will be provided with a tailored response to their submission.

STAGE 4: Communication

Timeframe: June 2016 - July 2016 (Indicative)

12. Following Council's approval of the final DPA, it will be forwarded to the Minister for consideration.
13. Ongoing communication with stakeholders will occur during this period. It is proposed that this be achieved (in the main) via an ongoing web presence and updates to people who have registered an interest in the DPA.
14. Following the final decision from the Minister for Planning, stakeholders who have responded to the DPA will be provided with an individual tailored response and offered the opportunity to meet with staff if individuals seek a follow up meeting.

Building Height (No of storeys).

	Existing Site (No. of Storeys)	Existing Development Plan (non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions	Post Exhibition DPA (expressed as Max height subject to design considerations)
MIXED USE SITE				
Archer West Policy Area 13				
Ward Street	1-3 storeys	2	1-3 storeys	1-3 storeys
Jeffcott Street	2 storeys	2	2 storeys	2 storeys
Archer Street	1-3 storeys	2	1 - 3 storeys	1 - 3 storeys
Walter Street	1-3 storeys	2	1-3 storey	1-3 storey
Central Areas to site	4 storeys	2	6 storeys	6 storeys on large and amalgamated sites only. Development around Hebart Hall, Wall height of new buildings to match height of Hebart Hall.
HEALTH SECTOR				
Helping Hand Aged Care				
Molesworth Street	2	2	2 storeys	1 to 2 storeys
Buxton Street (South Side)	1 storey	2	1- 2 storeys	1 to 2 storeys
Buxton Street (North Side)	1 to 3 storeys	2	1- 2 storeys	1 to 2 storeys
Childers Street	1 storey	2	1 - 2 storeys	1 to 2 storeys
Central Areas to site	3- 4 storeys	2	4 storeys	4 storeys

Building Height (No of storeys).

	Existing Site (No. of Storeys)	Existing Development Plan (non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions	Post Exhibition DPA (expressed as Max height subject to design considerations)
Calvary Hospital				
Strangways Terrace	2-4 storeys	2	3 storeys	3 storeys
Hill Street	3 storeys	2	5 storeys	4 storeys
Barnard Street	1 to 2 storeys	2	1 to 2 storeys	1 to 2 storeys
Central Areas to site	3 - 4 storeys		5 storeys	5 storeys
Women's and Children's Hospital (South Side) and Memorial Hospital				
Pennington Terrace	3 storeys	2	3 storeys	3 storeys
Sir Edwin Smith Avenue	2 storeys	2	2 storeys	2 storeys
Kermode Street	3 - 4 storey	2	6 storeys	6 storeys

Building Height (No of storeys).

	Existing Site (No. of Storeys)	Existing Development Plan (non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions	Post Exhibition DPA (expressed as Max height subject to design considerations)
EDUCATION SECTOR				
Lincoln College				
Brougham Place	2 storeys	2 storeys	2 storeys	2 storeys
Margaret Street	4 storeys	2 storeys	4 storeys	3 storeys
Ward Street	4 storeys	2 storeys	4 storeys	3 storeys
Central Areas to site	4 storeys	2 storeys	6 storeys	6 storeys
St Ann's College				
Melbourne Street	2 storeys	2 Storeys in Conservation Zone (and 4 storeys in Mixed Used Melbourne West Zone)	4 storeys	4 storeys
Old Street	4 storeys	2 storeys	1 storey	1- 2 storey (tapered by impact to views and building envelope)
Brougham Place	2 storeys	2 storeys	2 storeys	2 storeys
Central Areas to site	4 storeys	2 storeys	4 storeys (tapered by impact to views)	4 storeys (tapered by impact to views)

Building Height (No of storeys).

	Existing Site (No. of Storeys)	Existing Development Plan (non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions	Post Exhibition DPA (expressed as Max height subject to design considerations)
Kathleen Lumley College				
Mackinnon Parade	3 storeys	2 storeys	1- 3 storeys	1- 3 storeys
Finniss Street	1 storey	2 storeys	1- 3 storeys	1-2 storeys
Central Areas to site	4 storeys	2 storeys	3 (only allow alteration to existing built form)	3 (only allow alteration to existing built form which is 4 storeys)
Aquinas College				
Palmer Place	1 to 3 storeys	2 storeys	1 to 3 storeys	1 to 3 storeys
Jeffcott Street	1 to 3 storeys	2 storeys	1 to 3 storeys	1 to 3 storeys
Pennington Terrace	1 to 2 storeys	2 storeys	1 to 3 storeys	1 to 3 storeys
St Mark's College				
Kermode Street	3 storeys	2 storeys	3-4 storeys	3-4 storeys
Pennington Terrace	1 -2 storeys	2 storeys	1 -2 storeys	1 -2 storeys
Abbott Lane	1-3 storeys	2 storeys	2 storeys	2 storeys
Central Areas to site	3 storeys	2 storeys	3 storeys	3 storeys

Building Height (No of storeys).

	Existing Site (No. of Storeys)	Existing Development Plan (non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions	Post Exhibition DPA (expressed as Max height subject to design considerations)
St Dominic's Priory				
Barnard Street	2 storeys	2 storeys	1- 2 storeys	1- 2 storeys
Molesworth Street	1 - 2 storeys	2 storeys	1- 2 storeys	1- 2 storeys
Hill Street	1 - 2 storeys	2 storeys	1- 2 storeys	1- 2 storeys
Priory Lane	No development	2 storeys	1- 2 storeys	1- 2 storeys (Building Envelope)
Central Areas to site	3 storeys	2 storeys	3 storeys	3 storeys

Land Use

	Existing Site	Existing Development Plan (relevant non-complying trigger) i.e. other relevant land uses merit	Exhibition DPA - Merit provisions i.e. not non-complying	Post Exhibition DPA
MIXED USE SITE				
Archer West Policy Area 13 (includes Lutheran Church of Australia)	Student Accommodation, Dwellings, Consulting Rooms, Offices, Serviced Apartments, Place of Worship, Education Establishment, Library, Bank	Three policy areas with a mix of land uses merit including both residential and non-residential.	<ul style="list-style-type: none"> The residential land uses remain on merit (including student accommodation, nursing homes, serviced apartments, multiple dwelling, motel, retirement village). All of the existing and envisaged land uses made on merit across policy areas 3, 4 & 5. 	Increase residential focus by changing some non-residential land uses to non-complying (e.g. hotel and hospital). Add Museum as a merit land use.
HEALTH SECTOR				
Helping Hand Aged Care	Nursing Home Independent aged living	Nursing Home	Nursing Home Independent aged living	No change. Policy should only apply to exiting site. Additional capacity provided through DPA should only apply to existing uses, not new development for an alternative use.
Calvary Hospital	Hospital with some retail internally (café, pharmacy)	Hospital, shops	Hospital, clinic, consulting rooms, shops, research laboratory & on Strangways Terrace shops were encouraged.	Remove shops from Strangways Terrace. Policy should only apply to exiting site. Additional capacity provided through DPA should only apply to principle land use.
Women's and Children's Hospital	Multi-level Car park, Hospital with some retail internally (café, pharmacy), consulting rooms	Shops	Hospital. On Kermode Street retail i.e. shops, pharmacies, cafes, were encouraged to provide opportunities for an activated place.	No change. Policy should only apply to exiting site. Additional capacity provided through DPA should only apply to existing uses, not new development for an alternative use.
Memorial Hospital	Hospital with some retail internally (café, pharmacy)	Shops		
EDUCATION SECTOR				
Lincoln College	Student Accommodation, Office	Office	Student Accommodation, Office	Allow student accommodation. Offices to remain non-complying. Additional capacity provided through DPA should only apply to existing uses, not new development for an alternative use. Policy should only apply to exiting site (i.e. no expansion beyond existing site).
St Ann's College				
Kathleen Lumley College				
Aquinas College				
St Marks College	Student Accommodation			
St Dominic's Priory College	Education Establishment	Education Establishment, Primary School	Education establishment. Delete "primary school" as it is superfluous	No change. Policy should only apply to exiting site. Additional capacity provided through DPA should only apply to existing uses, not new development for an alternative use.

Attachment J – CONSIDERING ADDITIONAL NOMINATIONS FOR HERITAGE PLACES

1. This attachment is prepared following feedback from informal gatherings on the North Adelaide Large Colleges and Institutions Development Plan Amendment (DPA) which has identified the desire to consider a number of buildings as heritage places.
2. This follows a couple of submission which have also requested buildings to be considered as heritage places.
3. The agreed Statement of Intent for the DPA did not include the scope to nominate additional Heritage Places.
4. Therefore requirements of the Development Act have not been met in order to nominate any additional heritage places, including the requirement for statutory consultation to landowners or the community (which goes beyond the requirement of other DPAs).
5. In considering the submissions, Council administration has identified only two sites that have buildings that may meet the statutory criteria to assess the eligibility of a place as a place of local heritage value. In the opinion of administration, the other sites are unlikely to meet the statutory criteria of local heritage places.
6. The current DPA (without the Ministers approval to vary etc.) cannot list any additional places as Local or State Heritage Places.
7. Council would be unable to return the current DPA to the Minister for Planning by 30 June 2016 (as currently agreed), and complete the necessary statutory steps to consider additional heritage listings.
8. Should Council seek to consider additional heritage places, the following outlines options to progress this matter with the Minister for Planning.

Other option to proceed

9. In considering this, Council has two options (for which an alternative resolution has been provided in **Appendix 1**):

OPTIONS	COMMENT
<p>1. Commence a new DPA for heritage places</p>	<p>Would need Ministerial approval to proceed.</p> <p>The alternative resolution has been drafted to reflect the sites which may meet the criteria for heritage listing as per table 1.</p> <p>Members may seek to amend this to add other sites as per table 2 (which administration does not consider meets the criteria for heritage listing).</p> <p>If Members choose to include the identified buildings on Lutheran land (Archer West Policy Area 13) and St Marks) as per table 2 to allow for consideration of local heritage places, then it is suggested that changes to the currently drafted policy would also need to be proposed to avoid policy conflict.</p>
<p>2. Seek to split the DPA into two parts and commence a new DPA, namely:</p> <p>DPA Part 1 - Site with no new listings</p> <p>DPA Part 2 – Remainder of sites on hold pending resolution of new Sites proposed for new heritage listings</p> <p>Commence a new DPA with sites</p>	<p>Would need Ministerial approval to proceed.</p> <p>Would delay submission of final DPA for some or all sites.</p> <p>Would hold up timelines for some sites/stakeholders and delay investment opportunities for some sites.</p> <p>The alternative resolution has been drafted to reflect the sites which may meet the criteria for heritage listing as</p>

proposed for new heritage listings	<p>per table 1.</p> <p>Members may seek to amend this to add other sites as per table 2 (which administration does not consider meets the criteria for heritage listing).</p> <p>Members may need to alter policy outcome of some sites ((Lutheran (Archer West Policy Area 13) and St Marks) as per table 2) to allow for consideration of local heritage places.</p>
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10. In either of the above options, it is recommended that Council should request a new DPA be considered for 'interim effect' due to the risk of demolition (i.e. land owners may apply for approval to demolish and would likely be granted consent under the provisions of the current Development Plan). Interim affect would apply immediately upon Minister's agreement to release a DPA on public consultation.

Buildings for consideration as 'Heritage places' and how this would impact the DPA post Consultation

11. A number of buildings have been identified through the consultation process for consideration. The following table provides an initial staff assessment (by Council's Senior Heritage Architect) of each building against the statutory criteria for a Local Heritage Place.
12. The last column provides comments on the implications to the draft DPA policy. For instance, should Council resolve to proceed with a new DPA for local heritage listing, the policy response on the sites should be reconsidered to change the development policy outcome.

Table 1: May meet the criteria

May meet the criteria for Local Heritage Place (LHP) (Section 23(4) Development Act)			
BUILDING	COMMENT	KNOWN OWNER POSITION	IMPACT ON PROPOSED DPA POLICY
Calvary Hospital Mortuary (1 Building)	Meets the same statutory criteria as the Maternity Ward.		Post consultation, no development potential is identified over this building. No change to the policy would be required.
Kathleen Lumley cottages facing Finniss Street (6 buildings)	May meet statutory criterion (a) however the threshold for listing has been raised since the North Adelaide Heritage Survey 2004 and DPAs of 2006 and 2007.	Have previously objected to heritage listing of these buildings.	Post consultation, no development potential is identified over this building. No change to the policy would be required.

Table 2: Not recommended for listing

Not Recommended for Local Heritage Place (LHP) listing (Section 23(4) Development Act).			
BUILDING	COMMENT	KNOWN OWNER POSITION	IMPACT ON PROPOSED DPA POLICY
Memorial Hospital Chapel (1 Building)	Unlikely to meet statutory criteria. Building has been substantially compromised adversely affecting the heritage value. Local Heritage Advisory Committee doesn't support listing of compromised buildings.		Post consultation, no development potential is identified over this building. No change to the policy would be required.
St Marks College Former Stable (1 Building)	Historical context has been lost reducing the heritage value and significance. Original dwelling to which stable was associated has been demolished.	Owner has identified this area for future development intentions.	Post consultation, development potential is identified over this building. Changes to the policy would be required to revert back to the consultation version of the DPA.
Lutheran Church of Australia, Lohe Hall (1 Building)	Unlikely to meet statutory criteria for LHP. Building has been substantially compromised adversely affecting the heritage value i.e. all facades and roof and internals have been altered. LHAC doesn't support		Pre/Post consultation, development potential is identified over this building. Changes to the policy, Archer West Policy 13, would be required to determine the policy response to this building.

	listing of compromised buildings.		
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APPENDIX 1 – OPTIONS FOR ALTERNATIVE RESOLUTIONS

The following provides possible resolutions based on the options above. Highlighted in yellow is the difference between the two options.

OPTION 1

1. Receives the additional submissions on the North Adelaide Large Institutions and Colleges Development Plan Amendment (DPA), as contained in Attachment A of the Item **xx** on the Agenda of the Strategy, Planning and Partnerships Committee held on 22 June 2016.
2. **That Council:**
 - 2.1 Progress the DPA as a per the Statement of Intent and 30 June 2016 timeline; and**
 - 2.2 Forward to the Minister for Planning a Statement of Intent for a new DPA for the following potential 'heritage places,' (including a request for interim effect before or concurrently of gazettal of part 2.1 of this resolution):**
 - 1. Kathleen Lumley College: Kathleen Lumley Finnis Street Cottages**
 - 2. Calvary Hospital: Mortuary Calvary Hospital**
3. Endorses the following attachments to be finalised in accordance with Council's adopted policy position in respect to options for progressing the DPA as outlined in paragraph **ss** of Item **xx** on the Agenda of the Strategy, Planning & Partnerships Committee on 22 June 2016:
 - 2.1 Attachment B: Summary of Submissions (Public/Agency & Verbal Submissions) and draft response to each submission**
 - 2.2 Attachment C: Additional Investigations paper and responses**
 - 2.3 Attachment D: Development Plan Amendment Policy and Concept Plans.**

4. Endorses that stakeholders who participated in the statutory consultation will be informed of Council's response to their submissions in accordance with the Communications and Consultation Plan as contained in Attachment E to Item XX on the Agenda for the meeting of the Strategy, Planning and Partnerships Committee held on 5 April 2016.
5. Delegates to the CEO authority to finalise the DPA and supporting information in accordance with Council resolution to item XX on the Agenda for the meeting of the Strategy, Planning and Partnerships Committee held on 5 April 2016 and to make amendments in order to meet technical standards of the Department of Planning, Transport and Infrastructure and legal requirements.
6. Notes the Administration with identify opportunities to work with land owners of the institutions and college sites to progressively manage travel behaviour in order to improve transport and access to those sites.

OPTION 2

1. Receives the additional submissions on the North Adelaide Large Institutions and Colleges Development Plan Amendment (DPA), as contained in Attachment A of the Item XX on the Agenda of the Strategy, Planning and Partnerships Committee held on 22 June 2016.
2. That Council requests the Minister for Planning to split the North Adelaide Large Colleges and Institutions DPA into two parts as follows:

Part 1 of DPA:

- 2.1 Progressing as per the 30 June 2016 timeline for sites not subject to potential heritage places, namely:

1. St Dominic's Priory
2. Helping Hand Aged Care
3. Lincoln College
4. St Ann's College
5. St Marks College
6. Archer West Policy Area 13 (Lutheran Church of Australia)
7. Memorial Hospital and Women's and Children's Hospital
(Church at Memorial Hospital (Address))

Part 2 of DPA:

2.2 Remainder of DPA on hold awaiting consideration by the Minister of:-

I a Statement of Intent for a new DPA for the following potential 'heritage places'*:

3. Kathleen Lumley College: Kathleen Lumley Finnis Street Cottages

4. Calvary Hospital: Mortuary Calvary Hospital

ii. a request for interim effect of the above buildings before or concurrently of gazettal of part 2.1 of this resolution.

3. Endorses the following attachments to be finalised in accordance with Council's adopted policy position in respect to options for progressing the DPA as outlined in paragraph ss of Item xx on the Agenda of the Strategy, Planning & Partnerships Committee on 22 June 2016:
 - 2.1 Attachment B: Summary of Submissions (Public/Agency & Verbal Submissions) and draft response to each submission
 - 2.2 Attachment C: Additional Investigations paper and responses
 - 2.3 Attachment D: Development Plan Amendment Policy and Concept Plans.
4. Endorses that stakeholders who participated in the statutory consultation will be informed of Council's response to their submissions in accordance with the Communications and Consultation Plan as contained in Attachment E to Item XX on the Agenda for the meeting of the Strategy, Planning and Partnerships Committee held on 5 April 2016.
5. Delegates to the CEO authority to:
 - 5.1 finalise the DPA and supporting information in accordance with Council resolution to item XX on the Agenda for the meeting of the Strategy, Planning and Partnerships Committee held on 5 April 2016 and to make amendments in order to meet technical standards of the Department of Planning, Transport and Infrastructure and legal requirements.
 - 5.2 preparation of a Statement of Intent for a new DPA as proposed by 2.2.1 of this resolution for forwarding to the Minister for Planning.

6. **Notes the Administration with identify opportunities to work with land owners of the institutions and college sites to progressively manage travel behaviour in order to improve transport and access to those sites.**

Item 4 - Attachment J